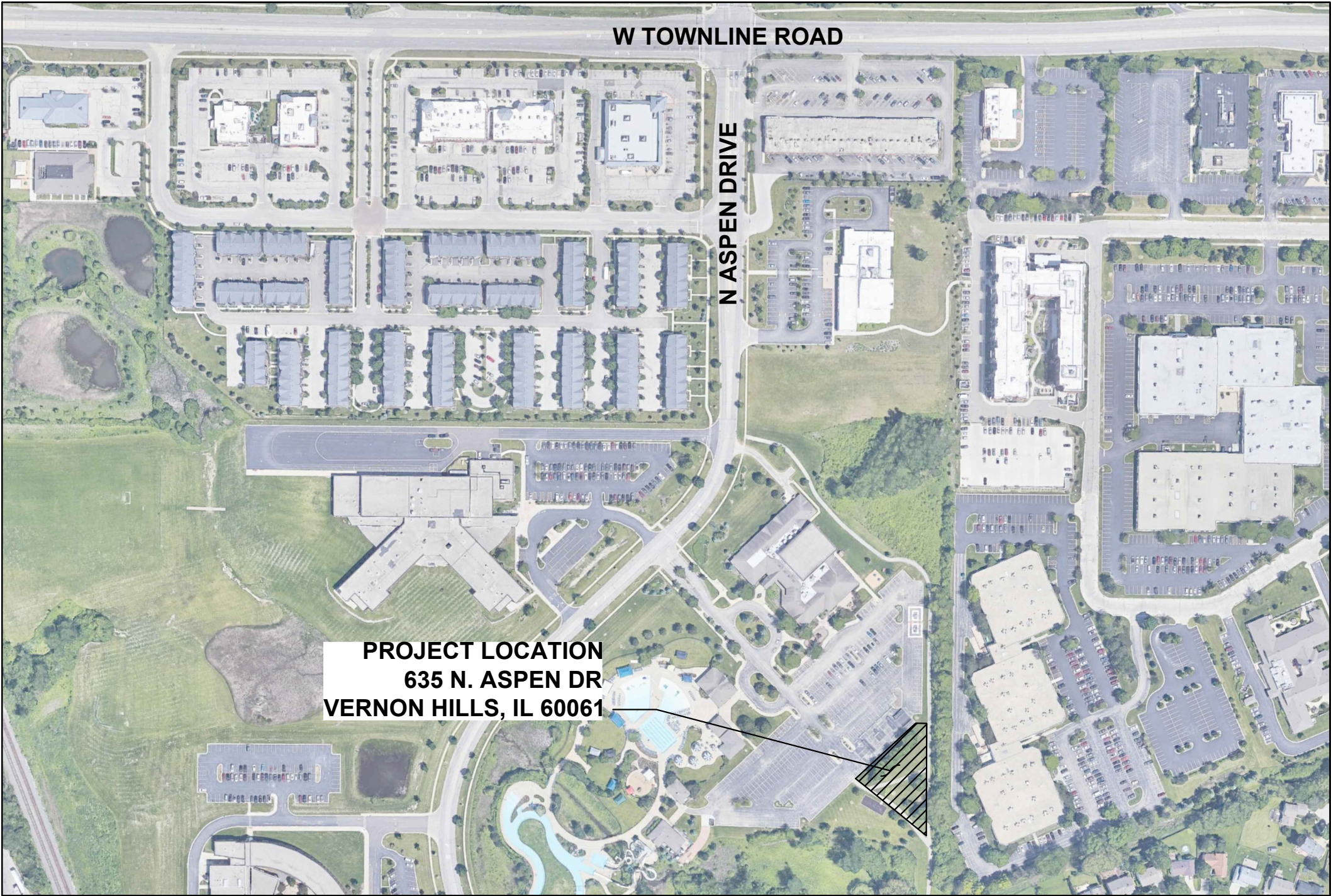


SKATE PARK DEVELOPMENT

VERNON HILLS PARK DISTRICT - VILLAGE OF VERNON HILLS, ILLINOIS

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PROJECT AREA
NOT TO SCALE



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CLIENT:
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PARK DISTRICT**

CLIENT ADDRESS:
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PROJECT:
**SKATE PARK
DEVELOPMENT**

PROJECT LOCATION:
**VERNON HILLS, ILLINOIS
LAKE COUNTY**

PLAN MODIFICATIONS:		
#	Date:	Description:
1	12.17.19	Permit Set
2	12.23.19	Permit Resubmittal
3	01.06.20	Permit Resubmittal/Bid Set
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Design/Drawn: SCD/LMV
Approved: LMV

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
TS0.0

JSD PROJECT NO: 19-9431

PERMIT/ISSUED FOR BID SET



File: G:\2019\199431\DWG\Landscape Architecture\199431 SDLO 0 Title Sheet.dwg Layout: SD1 to GEN NOTES User: lmarow Plotted: Dec 31, 2019 - 10:44am Xref's:

GENERAL NOTES:

1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCY CODES, STANDARDS AND SPECIFICATIONS.
2. THE PARK DISTRICT WILL OBTAIN ALL NECESSARY SITE PERMITS FROM THE APPLICABLE GOVERNING AGENCIES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SAFETY AND ALL WAYS, MEANS AND METHODS OF CONSTRUCTION. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
4. UNLESS OTHERWISE NOTED ON THE PLANS, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO COMMENCING CONSTRUCTION OPERATIONS AND TO SCHEDULE ANY REQUIRED SITE INSPECTIONS.
5. CONTRACTOR SHALL SCHEDULE A UTILITY LOCATING SERVICE AND/OR NOTIFY ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE LOCAL MUNICIPALITY AND ANY PRIVATE UTILITIES TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER TO AVOID POTENTIAL CONFLICTS. IT IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED ON THE PLANS OR NOT AND TO HAVE THESE UTILITIES STAKED PRIOR TO CONSTRUCTION. ANY NECESSARY RELOCATIONS OR REMOVALS OF EXISTING UTILITY LINES SHALL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER / LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS, ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER / LANDSCAPE ARCHITECT.
7. ALL EASEMENTS FOR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS PREPARED BY THE SURVEYOR ACCORDING TO INFORMATION OBTAINED FROM PUBLIC RECORDS OR VISIBLE FIELD MARKINGS. THE CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT SO THE CONFLICT MAY BE RESOLVED.
8. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, COORDINATES AND ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND LOCKED AND KEYS REMOVED. THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES SO THE CONFLICT MAY BE RESOLVED.
9. ALL PROPERTY MARKERS AND SURVEY REFERENCE MARKERS SHALL BE CAREFULLY PRESERVED DURING CONSTRUCTION UNTIL THEIR LOCATION HAS BEEN WITNESSED OR OTHERWISE TIED IN BY AN AUTHORIZED AGENT OR PROFESSIONALLY LICENSED SURVEYOR.
10. ALL AREAS DISTURBED BY THE GENERAL CONTRACTOR OR SUB-CONTRACTORS SHALL BE RETURNED TO THE ORIGINAL CONDITION OR BETTER, EXCEPT WHERE PROPOSED CONSTRUCTION IS INDICATED ON THE PLANS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
12. CONTRACTOR SHALL KEEP THE PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND WHEN NECESSARY, CLEAN PAVEMENTS AT THE END OF EACH WORKING DAY. MUD AND DEBRIS LEFT ON THE STREETS NOT CLEANED AND POWER-WASHED BY THE CONTRACTOR WILL BE CLEANED BY OTHERS AND BACK-CHARGED TO THE CONTRACTOR.
13. ALL CONSTRUCTION STAKING, SCHEDULING AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.
14. CONSTRUCTION GATE TO BE LOCKED AND THE SITE SECURED AT THE CLOSE OF EACH DAY. ALL EQUIPMENT REMAINING ON SITE SHOULD BE LOCKED AND KEYS REMOVED. ANYTHING LEFT ON SITE IS AT THE RISK OF THE CONTRACTOR.
15. THE LANDSCAPE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, METHODS, TECHNIQUES, SEQUENCE OR PROCEDURE, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. THE LANDSCAPE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE THE CONTRACTORS, SUBCONTRACTORS, OR THEIR AGENTS. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL RULES IS AND SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
16. ALL WORK SHALL COMPLY WITH THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT FOR PHYSICALLY HANDICAPPED PEOPLE.
17. EARTHWORK AND PAVING SPECIFICATIONS: THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION: LATEST EDITION," THE VILLAGE OF VERNON HILLS DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES AND ALL ADDENDA THERETO, SHALL GOVERN THE EARTHWORK AND PAVING WORK UNDER THIS CONTRACT, EXCEPT AS MODIFIED BY THESE SPECIFICATIONS.
18. EACH CONTRACTOR SHALL DO ALL NECESSARY CUTTING, FITTING, AND PATCHING OF THEIR OWN WORK. THEY SHALL ALSO DO ALL REMOVING AND ALTERING OF THE WORK AS REQUIRED TO MAKE SATISFACTORY CONNECTIONS AND INSTALLATIONS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RESTORATION AND FINISHING WORK; RESTORE TO MATCH ADJOINING CONSTRUCTION AND FINISHES.
19. ALL WORK SHALL BE ACCOMPLISHED IN A FIRST-CLASS MANNER, COMPLETE AND READY FOR THE USE INTENDED. CONTRACTORS SHALL BE RESPONSIBLE FOR FAULTY MATERIALS AND WORKMANSHIP AND SHALL REMEDY ANY DEFECTS THERETO AND SHALL PAY FOR ANY DAMAGES TO OTHER WORK RESULTING THEREFROM. WORK SHALL APPEAR FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE WORK.
20. AN AS-BUILT RECORD DRAWING SET SHALL BE PROVIDED IN AN ELECTRIC FORMAT VERSION TO THE VILLAGE ENGINEER IN A NON-PROPRIETARY FORMAT (E.G. PDF, DWG OR SHP FILE TYPES SPECIFIC TO VENDOR OR SOFTWARE). A COMPLETE SET OF THE ORIGINALLY APPROVED CIVIL DRAWINGS AND LANDSCAPE DRAWINGS SHALL BE USED AS A BASE FOR THE AS-BUILT RECORD DRAWINGS. THE AS-BUILT DOCUMENTS SHALL INCLUDE AN ENGINEER'S STATEMENT OF COMPLIANCE AND SHALL BE DATED, SIGNED AND SEALED BY AN ILLINOIS PROFESSIONAL ENGINEER.

DEMOLITION PLAN GENERAL NOTES:

1. THE CONTRACTOR SHALL PROVIDE MIN. 6' CHAIN LINK SAFETY FENCE FOR SITE PROTECTION AND/OR OTHER BARRIERS NECESSARY TO KEEP PARK USERS FROM ENTERING WORK AREAS. SEE EXISTING CONDITIONS/DEMOLITION PLAN FOR APPROXIMATE LOCATION OF SAFETY FENCE.
2. THE CONSTRUCTION FENCE LOCATION COINCIDES WITH THE LIMITS OF CONSTRUCTION. THIS FENCE MAY BE TAKEN DOWN PERIODICALLY TO AID IN CERTAIN CONSTRUCTION TASKS, HOWEVER FENCING/BARRIERS MUST BE RE-ERECTED AT THE END OF EACH WORKING DAY.
3. ALL ITEMS DESIGNATED FOR REMOVAL SHALL BE DISPOSED OF OFF SITE IN A LEGAL AND ACCEPTABLE MANNER AND AS OTHERWISE SPECIFIED IN THE DRAWINGS OR BY THE LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR ANY FEES REQUIRED FOR DISPOSAL.
4. SPECIAL CARE SHALL BE TAKEN TO CHECK THE SITE PERIODICALLY AS NOT TO LEAVE OPEN EXCAVATIONS OR PROTRUDING OBJECTS WHICH CAN BE HARMFUL TO PARK USERS.
5. ALL AREAS SHOWN TO BE REGRADED SHALL HAVE ALL TURF AND TOPSOIL REMOVED (EXCEPT WITHIN DRIPLINE OF TREES). SEE PLAN.
6. ALL ROADWAYS TO REMAIN OPEN TO VEHICULAR AND PEDESTRIAN TRAFFIC AND FREE OF DEBRIS AT ALL TIMES - USE NECESSARY TRAFFIC CONTROL DEVICES WHEN REQUIRED. TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE APPLICABLE STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SHALL BE INSTALLED AND PROVIDED WHENEVER CONSTRUCTION FOR UTILITIES ARE WITHIN STREET AREAS. APPLICABLE ORDINANCES OF THE MUNICIPALITY, COUNTY OR STATE SHALL ALSO GOVERN THE TRAFFIC CONTROL REQUIREMENTS.
7. CONTRACTOR AND EMPLOYEES VEHICLES SHALL BE LIMITED TO PARKING IN THE PARKING AREA ADJACENT TO THE SITE. DAMAGE/RUTS TO THE EXISTING ROADWAY PAVEMENT TO BE REPAIRED AT NO ADDITIONAL EXPENSE TO THE OWNER / LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR ANY FEES REQUIRED FOR REPAIR.
8. REMOVED PAVEMENTS, SIDEWALKS, CURBS, TREES AND STUMPS SHALL BE DISPOSED OF LEGALLY OFFSITE AT LOCATIONS DETERMINED BY THE CONTRACTOR.

9. CONTRACTOR'S OPTION: ANY CONCRETE TO BE REMOVED MAY BE GROUND ON SITE AND RE-USED AS BASE COURSE MATERIAL UNDER NEW CONCRETE AND/OR ASPHALT SURFACES. CONFIRM ACCEPTANCE BY OWNER / LANDSCAPE ARCHITECT PRIOR TO USE.

TREE PRESERVATION NOTES:

DURING CONSTRUCTION TAKE ALL REASONABLE STEPS NECESSARY TO PREVENT THE DESTRUCTION OR DAMAGE TO TREES (OTHER THAN THOSE SPECIFIED TO BE REMOVED). INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

1. NO CONSTRUCTION ACTIVITY, MOVEMENT AND/OR PLACEMENT OF EQUIPMENT OR MATERIAL OR SPOILS STORAGE SHALL BE PERMITTED OUTSIDE THE CONSTRUCTION LIMITS OR WITHIN THE TREE PRESERVATION AREA. NO EXCESS SOIL, ADDITIONAL FILL, LIQUIDS OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE ROOT ZONE OF ANY TREE THAT IS REQUIRED TO REMAIN.
2. CRUSHED LIMESTONE, HYDROCARBONS AND OTHER MATERIALS DETRIMENTAL TO TREES SHALL NOT BE DUMPED WITHIN THE ROOT ZONE OF ANY TREE, NOR AT ANY HIGHER LOCATION WHERE DRAINAGE TOWARD THE TREE COULD CONCEIVABLY AFFECT THE HEALTH OF THE TREE.
3. APPROPRIATE PROTECTIVE FENCING SHALL BE TEMPORARILY INSTALLED FOR PROTECTION OF REMAINING TREES. APPROPRIATE PROTECTIVE FENCING SHALL INCLUDE WOODEN SNOW FENCE OR VINYL CONSTRUCTION FENCE.
4. ALL REQUIRED PROTECTIVE FENCING OR OTHER PHYSICAL BARRIER MUST BE IN PLACE AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION. THE FENCING MUST REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PERIOD TO PREVENT THE IMPINGEMENT OF CONSTRUCTION VEHICLES, MATERIALS, SPOILS AND EQUIPMENT INTO OR UPON THE TREE PRESERVATION AREA.
5. NO ATTACHMENTS, FENCES OR WIRES, OTHER THAN THOSE APPROVED FOR BRACING, GUYING OR WRAPPING, SHALL BE ATTACHED TO TREES DURING THE CONSTRUCTION PERIOD.
6. UNLESS OTHERWISE INDICATED ON THE PLANS, NO SOIL IS TO BE REMOVED FROM WITHIN THE ROOT ZONE OF ANY TREE THAT IS TO REMAIN.
7. WHERE CONSTRUCTION TAKES PLACE WITHIN THE CRITICAL ROOT ZONE OF ONE SIDE OF A TREE PROPOSED FOR PRESERVATION, PROTECTIVE FENCING SHALL BE EXTENDED BEYOND THE CRITICAL ROOT ZONE OF THE OTHER SIDE OF THE TREE TO MAXIMIZE PROTECTION OF THE ROOT SYSTEM.
8. TREES WHICH ARE PRESERVED, BUT WILL BE AFFECTED DURING THE CONSTRUCTION PROCESS SHALL HAVE THE CROWNS AND ROOTS PRUNED BY A CERTIFIED ARBORIST ACCORDING TO THE TREE PRUNING STANDARDS SET BY ANSI Z100.
9. IF, IN THE OPINION OF THE LANDSCAPE ARCHITECT, THE NECESSARY PRECAUTIONS AS SPECIFIED WERE NOT UNDERTAKEN BEFORE CONSTRUCTION COMMENCED, OR ARE NOT MAINTAINED AT ANY TIME DURING CONSTRUCTION, A STOP WORK ORDER SHALL BE ISSUED UNTIL SUCH TIME AS THE CONTRACTOR COMPLIES WITH THE PRECAUTIONS HEREIN.

CONSTRUCTION PLAN GENERAL NOTES:

1. SAWING OF REMOVAL ITEMS AS NOTED OR IMPLIED ON THE PLANS SPECIFIED AS REQUIRED BY THE LANDSCAPE ARCHITECT SHALL BE CONSIDERED TO BE INCIDENTAL TO THE COST OF THE ITEM BEING REMOVED AND NO EXTRA COMPENSATION WILL BE ALLOWED.
2. EXISTING TOPOGRAPHY AND SPOT ELEVATIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT AS SOON AS THEY ARE DISCOVERED. PROPOSED GROUND ELEVATIONS MAY BE REVISED TO MEET FIELD CONDITIONS.
3. THE CONTRACTOR SHALL RECEIVE NO ADDITIONAL COMPENSATION FOR CONSTRUCTION STAGING NECESSARY TO ACCOMMODATE UTILITY RELOCATION OR ADJUSTMENT AND/OR FOR DELAYS CAUSED BY UTILITY RELOCATION OR ADJUSTMENT.
4. DEBRIS DEPOSITED IN THE FLOW OF ANY STRUCTURES SHALL BE REMOVED AT THE CLOSE OF EACH WORKING DAY. AT THE CLOSE OF CONSTRUCTION OPERATIONS, ALL STRUCTURES SHALL BE FREE FROM DIRT AND DEBRIS. THIS WORK WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCIDENTAL TO THE CONTRACT.
5. THE CONTRACTOR SHALL ADHERE TO LIMITS OF RESTORATION SHOWN. WORK OUTSIDE THESE LIMITS WILL NOT BE PAID FOR UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
6. CONSTRUCTION STAKING FOR THE PROJECT SHALL BE PERFORMED BY THE CONTRACTOR AND CONSIDERED INCIDENTAL TO THE CONTRACT.
7. ALL FRAMES AND GRATES DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
8. NO CONCRETE SHALL BE INSTALLED UNTIL THE FORMS HAVE BEEN INSPECTED FOR LINE, GRADE AND SUBGRADE CONDITIONS BY THE LANDSCAPE ARCHITECT. IT IS REQUIRED THAT THE INSPECTIONS BE ARRANGED FOR AT LEAST 48 HOURS IN ADVANCE OF THE CONCRETE PLACEMENT.
9. ELEVATIONS SHOWN ARE ILLINOIS STATE PLANE EASTERN ZONE DATUM, SEE SURVEY.
10. ELECTRICAL TRENCHES AND SUBSEQUENT GRAVEL PAVEMENT AND TURF REPAIR ARE NOT SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INCLUDE SUCH EXCAVATION, BACKFILL, AND COMPACTION AND GRAVEL PAVEMENT RESTORATION IN HIS PRICE FOR ELECTRICAL WORK.
11. SIDEWALK RAMPS AND/OR DEPRESSED CURBS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT, VILLAGE OF VERNON HILLS, AND THE VILLAGE ENGINEER. SIDEWALK RAMPS AND/OR DEPRESSED CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE STATE STANDARDS, THE DETAILS SHOWN, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT, VILLAGE OF VERNON HILLS AND THE VILLAGE ENGINEER.
12. THE ELEVATIONS SHOWN ON THE PLANS ARE FINISHED GRADES OF PROPOSED PAVEMENT, WALKS OR TURF UNLESS OTHERWISE INDICATED.
13. A SMOOTH TRANSITION SHALL BE EFFECTED BETWEEN NEW AND EXISTING CONSTRUCTION, DIFFERENT PHASES OF CONSTRUCTION, AND TEMPORARY CONSTRUCTION.
14. ELEVATIONS OF SEWER LINES AND THEIR LOCATIONS WILL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS. PROPOSED DRAINAGE ELEVATIONS AND GRADES MAY BE REVISED TO MEET FIELD CONDITIONS.
15. EXISTING SITE UTILITIES, SUCH AS VALVES, SANITARY AND STORM CASTINGS, AND HYDRANTS, ETC. SHALL BE ADJUSTED TO THE ELEVATION OF THE FINISHED GROUND SURFACE. THE CONTRACTOR SHALL EXERCISE CARE IN GRADING AND ANY DAMAGE SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.
16. ALL TURF AND PLANTING AREAS SHALL DRAIN COMPLETELY AND NOT POND NOR PUDDLE. PROVIDE 6" OF BLACK TOPSOIL IN ALL AREAS WHICH HAVE BEEN REGRADED OR DISTRIBUTED DURING CONSTRUCTION.
17. THE LANDSCAPE ARCHITECT SHALL REVIEW ALL HARDSCAPE SURFACE PAVEMENT ELEVATIONS PRIOR TO CONSTRUCTION. GIVE LANDSCAPE ARCHITECT 48 HOURS NOTICE. ALL HARD SURFACE PAVEMENTS SHALL DRAIN COMPLETELY AT 1.0% MIN. SLOPE (UNLESS OTHERWISE SPECIFIED).
18. THE CONTRACTOR SHALL EXCAVATE, BACKFILL, COMPACT, GRADE AND SHAPE THE SUBGRADE AS DEPICTED IN THE PLAN. DO NOT EXPORT SUBSOIL, BUT REVISE ON SITE WHEN REQUIRED, REVIEW LOCATIONS WITH THE LANDSCAPE ARCHITECT.
19. ALL EXCAVATED TOPSOIL SHALL BE RE-USED BY THE CONTRACTOR FOR RESPREADING BENEATH BERMS AND LANDFORMS OR OTHER LANDSCAPE AREAS. IF CONSTRUCTION YIELDS ADDITIONAL TOPSOIL, IT SHALL BE STOCKPILED ON SITE IN AN AREA DESIGNATED BY THE LANDSCAPE ARCHITECT. UNDER NO CIRCUMSTANCES IS THE CONTRACTOR TO REMOVE OR DISPOSE OF TOPSOIL STRIPPED OR STOCKPILED ON-SITE FOR RE-USE, WITHOUT APPROVAL FROM THE LANDSCAPE ARCHITECT.
20. WHEN EXCAVATING, BACKFILLING, OR GRADING BENEATH TREE DRIPLINE, REVIEW ALL PROPOSED WORK WITH THE LANDSCAPE ARCHITECT.
21. FINISHED GRADE ELEVATIONS IN TURF AND LANDSCAPED AREAS SHALL BE APPROXIMATELY 2" ABOVE ADJACENT PAVEMENTS, CURBS, ETC. TO ALLOW FOR SETTLEMENT.

22. ALL STORM SEWER LATERALS WILL BE CONSTRUCTED AT A MINIMUM SLOPE OF 0.45 PERCENT UNLESS OTHERWISE NOTED ON PLANS.
23. EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, CONSTRUCTION OF EMBANKMENTS, NON-STRUCTURAL FILLS, FINAL SHAPING AND TRIMMING TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE PLANS. ALL UNSUITABLE OR EXCESS MATERIAL SHALL BE DISPOSED OF LEGALLY OFFSITE OR AS DIRECTED BY THE PROJECT REPRESENTATIVE IN THE FIELD.
24. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH AND PERFORMED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
25. ON AND OFFSITE PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE, AND, IF DAMAGED, SHALL BE REPLACED IN-KIND PROMPTLY TO MEET STATE AND LOCAL STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
26. CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES THROUGH THE HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS ON THE PLANS. CONTRACTOR SHALL PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES AND AVOID ANY RIDGES AND/OR DEPRESSIONS.
27. SITE GRADING AND CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE AND MATCH EXISTING GRADES FLUSH.
28. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
29. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS (UNLESS OTHERWISE NOTED).
30. ALL CONCRETE FOOTING WORK SHALL BE POURED.
31. ALL REBAR CROSSING TO BE TIED.
32. ALL BRACING, TEMPORARY SUPPORTS, SHORING, ETC. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OBSERVATION VISITS TO THE JOB SITE BY THE SKATE PARK DESIGNER OR OWNER, DO NOT INCLUDE INSPECTION OF CONSTRUCTION PROCEDURES. THE VISIT SHALL NOT BE CONSTRUED AS CONTINUOUS AND DETAILED INSPECTIONS.
33. CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE CONSTRUCTED SIMILAR TO THE DETAILS FOR THE RESPECTIVE MATERIALS.
34. FINAL MATERIAL, FINISHES AND COLOR SHALL BE APPROVED BY OWNER AND SKATE PARK DESIGNER, BY SAMPLES, PRIOR TO INSTALLATION.
35. ALL CONCRETE WORK SHALL CONFORM TO THE IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITIONS AND THE VILLAGE OF VERNON HILLS DEVELOPMENT REGULATIONS CODE OF ORDINANCES FOR A METHOD OF CURING AND COLD-WEATHER CONSTRUCTION.

DIMENSION PLAN GENERAL NOTES:

1. ALL DIMENSIONS WHICH ARE GIVEN BY THE GRID COORDINATE SYSTEM INDICATORS SHALL BE VERIFIED PRIOR TO COMMENCING WORK. ALL FEATURES, CURBS, PAVEMENTS, AND WALLS SHALL BE LAID OUT AND PAINTED OR OTHERWISE MARKED IN THE FIELD BY THE CONTRACTOR AND VERIFIED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
2. ALL CONCRETE CURVES SHALL BE SMOOTH AND CONTINUOUS AS SHOWN IN THE DRAWINGS. SHARP BENDS OR KINKS IN THE PAVEMENT SHALL BE REMOVED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
3. ALL CONCRETE SCORING SHALL FOLLOW A 5' MODULE OR AS SHOWN IN THE DRAWINGS. ALL EXPANSION JOINTS IN FLATWORK OR CURBS SHALL BE LOCATED AT 30' INTERVALS OR AS SHOWN. NO SAWCUT JOINTS WILL BE PERMITTED.
4. UNLESS OTHERWISE NOTED, ALL CURB AND PAVEMENT ANGLES SHALL BE CONSTRUCTED AT 90 DEGREE OR 45 DEGREE ANGLES.
5. ALL PROPOSED RADII DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

LANDSCAPE PLAN GENERAL NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS AND DIRECTIONS OF THE SPECIFICATIONS.
2. THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL WORK FROM DAMAGE BY OTHER UNTIL THE WORK IS COMPLETE AND ACCEPTED BY THE PARK DISTRICT.
3. THE LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES.
4. EXACT LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE DETERMINED AND IDENTIFIED IN THE FIELD BY THE LANDSCAPE CONTRACTOR PRIOR TO COMMENCING WORK.
5. THE CONTRACTOR SHALL AVOID ALL EXISTING UTILITIES-UNDERGROUND AND OVERHEAD WHERE APPLICABLE. WHERE UNDERGROUND UTILITIES EXISTS, FIELD ADJUSTMENTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL.
6. ALL PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, 230 SOUTHERN BUILDING, WASHINGTON D.C. 20005 (ANSI Z60.1).
7. ALL PLANTS OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME NURSERY SOURCE.
8. THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATION OF ALL TREES AND OTHER LANDSCAPE FEATURES FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND SHALL CHECK FOR CORRECT SPACING BEFORE PLANTING.
9. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO THE LANDSCAPE ARCHITECT AS EACH PHASE OF WORK IS UNDERTAKEN PRIOR TO PLANTING OPERATIONS SO THAT THE LANDSCAPE ARCHITECT CAN BE PRESENT TO VERIFY PLANT SPECIES, SIZES AND OVERALL HEIGHT IMMEDIATELY PRIOR TO PLANTINGS. IF NOTICE IS NOT GIVEN BY THE CONTRACTOR, HE SHALL REMOVE/REPLACE PLANTS AS DIRECTED BY THE LANDSCAPE ARCHITECT AT NO ADDITIONAL EXPENSE TO THE OWNER.
10. PLANT TREES AND SHRUBS AFTER THE FINAL GRADES HAVE BEEN ESTABLISHED AND PRIOR TO THE PLANTING OF LAWNS UNLESS OTHERWISE DIRECTED BY THE OWNER. IF PLANTING OF TREES OCCURS AFTER LAWN WORK, THE LANDSCAPE CONTRACTOR SHALL PROTECT LAWN AREAS AND PROMPTLY REPAIR DAMAGED LAWN RESULTING FROM PLANTING OPERATIONS.
11. ALL PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO THE NEW GRADE AS IT BORE TO THE GRADE AT THE NURSERY.
12. PRUNE BROKEN OR CROSS BRANCHING AT THE TIME OF PLANTING. DO NOT REMOVE CENTRAL LEADER.
13. FOR TREES PLANTED IN TURF AREAS, THE LANDSCAPE CONTRACTOR SHALL PROVIDE A 6"-0" DIA. SHREDDED HARDWOOD BARK MULCH RING (REMOVE EXISTING TURF) AT A MINIMUM OF 3" THICK (AFTER SETTLEMENT) WITH A CULTIVATED EDGE AT THE BASE OF EACH TREE. MULCH SHALL BE PLACED WITHIN TWO (2) DAYS AFTER TREES ARE PLANTED. MULCH SHALL BE CONSIDERED INCIDENTAL TO TREE PLANTINGS. INCLUDE TERRA-SORB HYDROGEL CRYSTALS WITH PLANTING MIX.
14. TREES SHALL BE SET IN TRUE, VERTICAL ALIGNMENT AFTER PLANTING.
15. ALL PLANTS SHALL BE PLANTED PER THE LANDSCAPE PLAN, DETAILS AND SPECIFICATIONS. PLANTINGS NOT FOUND TO BE IN COMPLIANCE SHALL BE REPLANTED CORRECTLY, OR REPLACED AT NO ADDITIONAL EXPENSE TO THE OWNER.
16. ADJUST SHRUB, PERENNIAL, AND GROUNDCOVER SPACING AS NECESSARY TO EVENLY FILL PLANTING BEDS.
17. THE LANDSCAPE ARCHITECT OR OWNER RESERVES THE RIGHT TO REJECT PLANTS ON SITE WHETHER STOCK PILED OR PLANTED IN PLACE. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM SITE.
18. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
19. WHERE PLANTING BEDS MEET TURF AREAS, THE CONTRACTOR SHALL PROVIDE A CULTIVATED EDGE. MULCH ALL SHRUB BEDS TO THE LINE SHOWN. THE CONTRACTOR SHALL FURNISH AND INSTALL 3" LAYER OF SHREDDED HARDWOOD MULCH UNDER ALL TREE PLANTINGS AND SHRUB BEDS. (SUBMIT SAMPLE, SEE SPECS.)
20. AN APPROVED GRANULAR ORGANIC PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN ALL PLANTING BEDS AT A RATE SPECIFIED BY MANUFACTURER FOR EACH PLANT VARIETY.
21. THE LANDSCAPE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT INJURY TO ALL PLANT MATERIAL DURING DIGGING, HANDLING, PLANTING, AND MAINTENANCE OPERATIONS.
22. ALL PLANTS TO BE "HEELED IN" OR STORED ON-SITE AND SHALL BE GROUPED TOGETHER BY SPECIES AND SIZE AND SHALL BE COVERED WITH MULCH OR COMPOST TO PREVENT DESICCATION. DO NOT DELIVER ANY PLANTS THAT CANNOT BE PLANTED WITHIN FIVE (5) WORKING DAYS.
23. FOR ALL GROUNDCOVERS, ROTOTILL 2" OF SPHAGNUM PEAT INTO TOPSOIL TO A DEPTH OF 6" TO YELD A HOMOGENOUS MIXTURE OF TOPSOIL AND PEAT.
24. GROUNDCOVER AREAS SHALL ONLY RECEIVE 1 1/2" SHREDDED HARDWOOD MULCH (NO FABRIC). CAREFULLY PLACE MULCH AROUND EACH PLANT BASE.
25. BERMS AND LANDFORMS SHOWN ARE APPROXIMATE ONLY. THE CONTRACTORS SHALL UTILIZE EXISTING SUBSOIL AND TOPSOIL. THE CONTRACTOR SHALL GRADE AS SHOWN. THE CONTRACTOR SHALL MAKE HIMSELF AWARE OF SUCH QUANTITIES PRIOR TO SUBMITTING HIS BID.
26. ALL EXCAVATED TOPSOIL SHALL BE RE-USED BY THE CONTRACTOR OR IF CONSTRUCTION YIELDS ADDITIONAL TOPSOIL, IT SHALL BE STOCKPILED ON SITE IN AN AREA DESIGNATED BY THE OWNER FOR RE-USE BY THE CONTRACTOR PRIOR TO IMPORTING NEW TOPSOIL (IF ANY).
27. ALL DISTURBED AREAS SHALL RECEIVE 6" MINIMUM OF TOPSOIL (COMPACTED). LANDSCAPE CONTRACTOR TO COORDINATE THEIR WORK WITH OTHER TRADES REGARDING FINISH GRADING. IF AVAILABLE, CONTRACTOR IS TO USE STOCKPILED TOPSOIL ONSITE. IF NOT AVAILABLE, THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR IMPORTING THE TOPSOIL NECESSARY TO MEET FINISH GRADE.
28. TOPSOIL SHALL BE FERTILE, FRIABLE AND REPRESENTATIVE OF LOCAL PRODUCTIVE SOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH AND FREE OF CLAY LUMPS, SUBSOIL, NOXIOUS WEEDS OR OTHER FOREIGN MATTER SUCH AS STONES, ROOTS, STICKS AND OTHER EXTRANEOUS MATERIALS. NOT FROZEN OR MUDDY. PH OF TOPSOIL TO RANGE BETWEEN 5.5 AND 7.5.
29. FINE GRADE, FERTILIZE, AND SEED ALL DISTURBED AREAS WITHIN THE CONSTRUCTION LIMITS AS SHOWN WITH EROSION CONTROL BLANKET. ALL TURF AREAS SHALL DRAIN COMPLETELY AND SHALL NOT POND NOR PUDDLE. ALL TURF AREAS SHALL RECEIVE 6" THICK BLACK TOPSOIL-ALLOW FOR SETTLEMENT.
30. DURING LANDSCAPE WORK, KEEP PAVEMENTS CLEAN AND WORK AREAS IN AN ORDERLY MANNER. REMOVE ALL DEBRIS FROM THE JOB SITE ON A DAILY BASIS.
31. ALL PLANT MATERIAL SHALL BE FULLY GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. DEAD OR UNHEALTHY PLANTS SHALL BE REPLACED AS SOON AS CONDITIONS PERMIT.
32. SUBSTITUTION OF PLANT MATERIAL DUE TO LACK OF AVAILABILITY MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. SUBSTITUTE PLANTS SHALL BE THE SAME SIZE, OR LARGER, AND OF EQUAL OR BETTER VALUE THAN THE ITEMS SPECIFIED. THE "EQUALITY" WILL REST WITHIN THE SOLE JUDGEMENT OF THE LANDSCAPE ARCHITECT.
33. ALL LANDSCAPE MATERIALS MUST BE MAINTAINED IN GOOD CONDITION, PRESENT A HEALTHY, NEAT, AND ORDERLY APPEARANCE, AND BE KEPT FREE OF REFUSE AND DEBRIS. ANY DEAD, UNHEALTHY, OR MISSING PLANTS MUST BE REPLACED WITHIN 60 DAYS OF NOTIFICATION, UNLESS AN EXTENSION IS APPROVED.



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CLIENT:
VERNON HILLS
PARK DISTRICT

CLIENT ADDRESS:
635 NORTH ASPEN DRIVE
VERNON HILLS, IL 60061

PROJECT:
SKATE PARK
DEVELOPMENT

PROJECT LOCATION:
VERNON HILLS, ILLINOIS
LAKE COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	12.17.19	Permit Set
2	12.23.19	Permit Resubmittal
3	01.06.20	Permit Resubmittal/Bid Set
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Design/Drawn: SC/D/LMV
Approved: LMV

SHEET TITLE:
GENERAL NOTES

SHEET NUMBER:
SD1.0

JSD PROJECT NO: 19-9431

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File: I:\2019\199295\199295S\DWG\Survey\199295 Base map.dwg Layout: 22x34 User: jk Plotted: Oct 03, 2019 - 9:11am Xref's:



LEGEND

- CONTROL POINT/BENCHMARK
- BOLLARD
- SIGN
- STORM MANHOLE
- CURB INLET
- LIGHT POLE
- DECIDUOUS TREE
- CONIFEROUS TREE
- LANDSCAPE LIMITS
- CONCRETE CURB & GUTTER
- STORM SEWER
- EDGE OF WOODS OR BRUSH
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SPOT ELEVATION
- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- PAVEMENT STRIPING

NOTES

- FIELD WORK PERFORMED ON OCTOBER 01, 2019.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A SET CUT CROSS ON THE BACK OF CURB, CP-300, ELEVATION = 692.43
- CONTOUR INTERVAL IS ONE FOOT.
- SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE TOP BACK OF CURB ELEVATIONS.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES AND BY REFERENCE TO UTILITY RECORDS AND MAPS.
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE CONTROL POINT ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

CONTROL POINTS AND BENCHMARKS				
CONTROL POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-300	2,028,779.26	1,082,808.53	692.43	CUT X
CP-301	2,028,989.53	1,083,031.19	698.32	CUT X
CP-302	2,028,880.87	1,083,022.21	699.38	M.A.G. NAIL



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P. 312.644.3379

CLIENT:
**VERNON HILLS
PARK DISTRICT**

CLIENT ADDRESS:
**635 NORTH ASPEN DRIVE
VERNON HILLS, IL 60061**

DIGGERS HOTLINE
Toll Free (800) 242-8511

PROJECT:
SKATE PARK

PROJECT LOCATION:
**CITY OF VERNON HILLS
LAKE COUNTY, ILLINOIS**

PLAN MODIFICATIONS:		
#	Date:	Description:
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Design/Drawn: **JK 10/02/19**
Approved: **TJB 10/02/19**

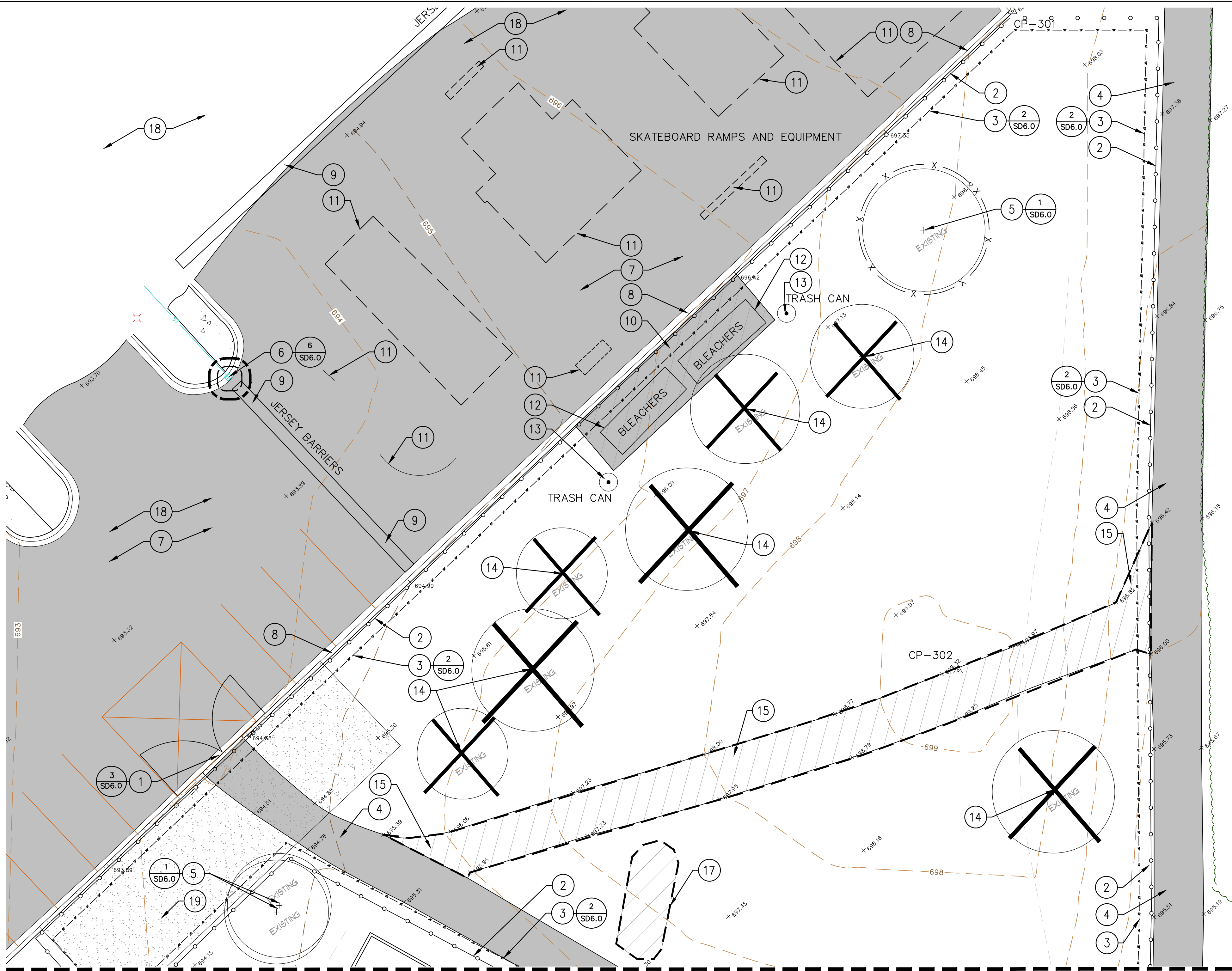
SHEET TITLE:
**TOPOGRAPHIC AND
UTILITY SURVEY**

SHEET NUMBER:
1 OF 1

JSD PROJECT NO: 19-9295

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File: G:\2019\199431\DWG\Landscape Architecture\199431 SD2.0 DEMO PLAN User: Wierow Plotted: Dec. 31, 2019 - 10:45am Xref's: Layout: SD2.0 DEMO PLAN



DEMOLITION PLAN NOTES:

- CONSTRUCTION ENTRANCE FOR THE SKATE PARK DEVELOPMENT. ANY DAMAGE TO THIS ACCESS AREA WILL BE REPAIRED OR REPLACED AT NOT ADDITIONAL COST TO THE PARK DISTRICT.
- FURNISH AND INSTALL 6' CHAIN LINK CONSTRUCTION FENCE. THE LOCATION ALSO EQUALS LIMITS OF CONSTRUCTION. PROVIDE ONE 20' GATE/OPENING FOR CONSTRUCTION ENTRANCE. FURNISH COMBINATION LOCK AND PROVIDE PARK DISTRICT WITH COMBINATION. ALL PRECAUTIONS SHALL BE TAKEN TO PROTECT EXISTING WALK AND CURB/GUTTER WITHIN CONSTRUCTION ACCESS. CONSTRUCTION FENCING CAN BE TAKEN DOWN TO ACCOMMODATE CONSTRUCTION BUT MUST BE REINSTALLED BY THE END OF THE WORK DAY. CONTRACTOR TO MAINTAIN FENCE DURING CONSTRUCTION.
- FURNISH AND INSTALL EROSION CONTROL SILT FENCE. SEE DETAIL.
- EXISTING BITUMINOUS PATHWAY TO REMAIN AND BE PROTECTED AT ALL TIMES. ANY DAMAGE TO THE SIDEWALK WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
- EXISTING TREE TO REMAIN, PROTECT DURING CONSTRUCTION. FURNISH AND INSTALL SNOW FENCE. IT IS THE ESSENCE OF THE CONTRACT TO PRESERVE THE PRESENT CONDITION OF THE TREES TO REMAIN. ALL REMOVALS AND DEMOLITION OF MATERIALS BENEATH THE TREE CANOPIES TO BE PERFORMED BY MANUAL OPERATIONS (HAND). NO MACHINERY TO BE USED BENEATH THE CANOPY OF THE TREE IN ORDER TO PROTECT ROOTS FROM DAMAGE.
- EXISTING UTILITIES TO REMAIN AND BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL EXPENSE TO THE PARK DISTRICT.
- EXISTING BITUMINOUS PARKING LOT TO BE PROTECTED AT ALL TIMES. ANY DAMAGE TO THE PARKING LOT PAVEMENT WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
- EXISTING CURB AND GUTTER TO BE PROTECTED AT ALL TIMES. ANY DAMAGE TO THE CURB WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
- PARK DISTRICT TO REMOVE EXISTING JERSEY BARRIERS AND STOCKPILE FOR RE-USE.
- REMOVE EXISTING CONCRETE PAD, INCLUDING REINFORCEMENT, AGGREGATE BASE AND APPURTENANCES, AND HAUL OFF SITE. SAWCUT TO PROVIDE A CLEAN VERTICAL EDGE.
- PARK DISTRICT TO REMOVE EXISTING SKATEPARK EQUIPMENT, INCLUDING SURFACE MOUNTING HARDWARE AND FOOTINGS. DISPOSE OF IN A LEGAL MANNER.
- PARK DISTRICT TO REMOVE EXISTING BLEACHERS.
- REMOVE EXISTING LITTER RECEPTACLES. DISPOSE OF IN A LEGAL MANNER.
- PARK DISTRICT TO REMOVE EXISTING TREE INCLUDING ROOTBALL. GRIND STUMP TO A MINIMUM 2-INCHES BELOW GRADE. ANY ASH TREES (FRAXINUS SPP.) SHALL BE DISPOSED OF IN A MANNER COMPLIANT TO LOCAL LAWS REGARDING EMERALD ASH BORERS. (THESE MAY ALREADY BE REMOVED PRIOR TO CONSTRUCTION).
- EXISTING BITUMINOUS PAVEMENT INCLUDING BASE TO BE REMOVED AND HAULED OFF SITE. SAWCUT AS NECESSARY TO PROVIDE A CLEAN VERTICAL EDGE. DISPOSE OF IN A LEGAL MANNER.
- EXISTING PLAY EQUIPMENT TO REMAIN. ANY DAMAGE TO THE PLAY EQUIPMENT WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
- EXISTING LANDSCAPE AREA TO BE REMOVED.
- NO WORK AREA ZONE: ACCESS, EQUIPMENT AND MATERIAL STORAGE IN THIS AREA PROHIBITED AT ALL TIMES.
- STOCKPILE LOCATION.
- WETLAND BUFFER. SEE SD2.1

LEGEND

- CONSTRUCTION FENCE
- SF SILT FENCE
- X TREE PROTECTION FENCING
- CONSTRUCTION ENTRANCE
- REMOVALS
- TREE REMOVAL

CONTROL POINTS AND BENCHMARKS (NAVD 88)

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-300	2,028,779.26	1,082,808.53	692.43	CUT X
CP-301	2,028,989.53	1,083,031.19	698.32	CUT X
CP-302	2,028,880.87	1,083,022.21	699.38	M.A.G. NAIL

* SEE ALSO DEMOLITION/TREE PRESERVATION PLAN GENERAL NOTES SHEET SD1.0



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P. 312.644.3379

CLIENT:
VERNON HILLS
PARK DISTRICT

CLIENT ADDRESS:
635 NORTH ASPEN DRIVE
VERNON HILLS, IL 60061

PROJECT:
SKATE PARK
DEVELOPMENT

PROJECT LOCATION:
VERNON HILLS, ILLINOIS
LAKE COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	12.17.19	Permit Set
2	12.23.19	Permit Resubmittal
3	01.06.20	Permit Resubmittal/Bid Set
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Design/Drawn: SCD/LMV
Approved: LMV

SHEET TITLE:
DEMOLITION/TREE
PRESERVATION PLAN:
NORTH

SHEET NUMBER:

SD2.0

JSD PROJECT NO: 19-9431

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SD2.0

DEMOLITION/TREE PRESERVATION PLAN: NORTH

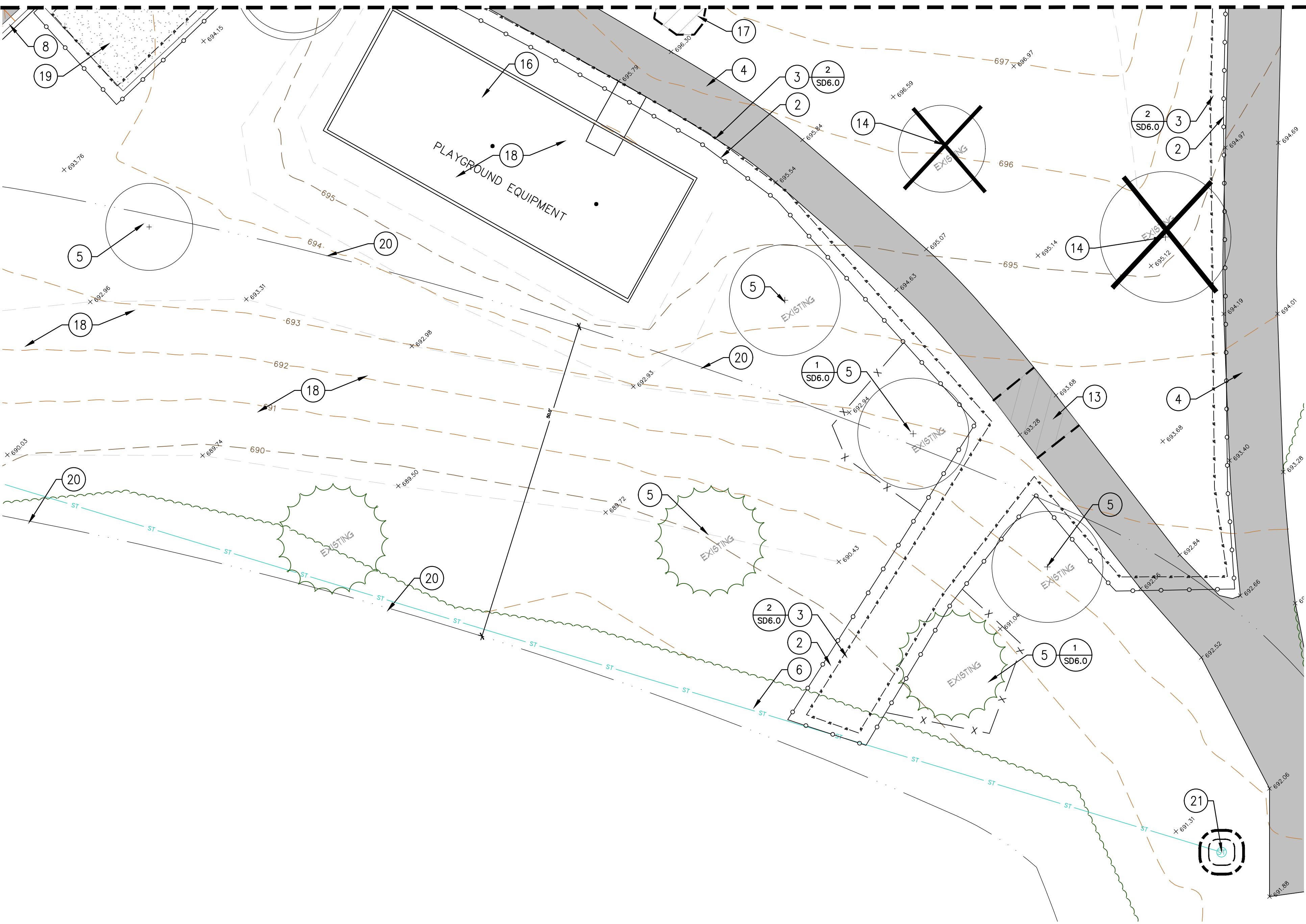
SCALE IN FEET

10' 0 10'

north

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MATCHLINE: SEE SHEET SD2.0



DEMOLITION PLAN NOTES:

1. INTENTIONALLY OMITTED.
2. FURNISH AND INSTALL 6' CHAIN LINK CONSTRUCTION FENCE. THE LOCATION ALSO EQUALS LIMITS OF CONSTRUCTION. PROVIDE ONE 20' GATE/OPENING FOR CONSTRUCTION ENTRANCE. FURNISH COMBINATION LOCK AND PROVIDE PARK DISTRICT WITH COMBINATION. ALL PRECAUTIONS SHALL BE TAKEN TO PROTECT EXISTING WALK AND CURB/GUTTER WITHIN CONSTRUCTION ACCESS. CONSTRUCTION FENCING CAN BE TAKEN DOWN TO ACCOMMODATE CONSTRUCTION BUT MUST BE REINSTALLED BY THE END OF THE WORK DAY. CONTRACTOR TO MAINTAIN FENCE DURING CONSTRUCTION.
3. FURNISH AND INSTALL EROSION CONTROL SILT FENCE. SEE DETAIL.
4. EXISTING BITUMINOUS PATHWAY TO REMAIN AND BE PROTECTED AT ALL TIMES. ANY DAMAGE TO THE SIDEWALK WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
5. EXISTING TREE TO REMAIN. PROTECT DURING CONSTRUCTION. FURNISH AND INSTALL SNOW FENCE. IT IS THE ESSENCE OF THE CONTRACT TO PRESERVE THE PRESENT CONDITION OF THE TREES TO REMAIN. ALL REMOVALS AND DEMOLITION OF MATERIALS BENEATH THE TREE CANOPIES TO BE PERFORMED BY MANUAL OPERATIONS (HAND). NO MACHINERY TO BE USED BENEATH THE CANOPY OF THE TREE IN ORDER TO PROTECT ROOTS FROM DAMAGE.
6. EXISTING UTILITIES TO REMAIN AND BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL EXPENSE TO THE PARK DISTRICT.
7. INTENTIONALLY OMITTED.
8. EXISTING CURB AND GUTTER TO BE PROTECTED AT ALL TIMES. ANY DAMAGE TO THE CURB WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
9. INTENTIONALLY OMITTED.
10. INTENTIONALLY OMITTED..
11. INTENTIONALLY OMITTED.
12. INTENTIONALLY OMITTED.
13. CONTRACTOR SHALL SAWCUT EXISTING BITUMINOUS PATH AT A 90° ANGLE TO THE PATH EDGE. BITUMINOUS ASPHALT REPLACEMENT SHALL MATCH EXISTING THICKNESS AND CA-7 CRUSHED LIMESTONE AGGREGATE TRENCH BACKFILL SHALL BE USED FOR THE ENTIRE DEPTH.
14. PARK DISTRICT TO REMOVE EXISTING TREE INCLUDING ROOTBALL. GRIND STUMP TO A MINIMUM 2-INCHES BELOW GRADE. ANY ASH TREES (FRAXINUS SPP.) SHALL BE DISPOSED OF IN A MANNER COMPLIANT TO LOCAL LAWS REGARDING EMERALD ASH BORERS. (THESE MAY ALREADY BE REMOVED PRIOR TO CONSTRUCTION).
15. EXISTING BITUMINOUS PAVEMENT INCLUDING BASE TO BE REMOVED AND HAULED OFF SITE. SAWCUT AS NECESSARY TO PROVIDE A CLEAN VERTICAL EDGE. DISPOSE OF IN A LEGAL MANNER.
16. EXISTING PLAY EQUIPMENT TO REMAIN. ANY DAMAGE TO THE PLAY EQUIPMENT WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
17. EXISTING LANDSCAPE AREA TO BE REMOVED.
18. NO WORK AREA ZONE: ACCESS, EQUIPMENT AND MATERIAL STORAGE IN THIS AREA PROHIBITED AT ALL TIMES.
19. STOCKPILE LOCATION.
20. WETLAND BUFFER. SEE SD2.2
21. EXISTING CATCH BASIN TO REMAIN AN BE PROTECTED AT ALL TIMES DURING CONSTRUCTION.

LEGEND

- CONSTRUCTION FENCE
- SF SILT FENCE
- TREE PROTECTION FENCING
- CONSTRUCTION ENTRANCE
- REMOVALS
- TREE REMOVAL

CONTROL POINTS AND BENCHMARKS (NAVD 88)

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
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CP-301	2,028,989.53	1,083,031.19	698.32	CUT X
CP-302	2,028,880.87	1,083,022.21	699.38	M.A.G. NAIL

* SEE ALSO DEMOLITION/TREE PRESERVATION PLAN GENERAL NOTES SHEET SD1.0



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SD2.1

DEMOLITION/TREE PRESERVATION PLAN: SOUTH

SCALE IN FEET
10' 0 10'

north



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CLIENT:
VERNON HILLS
PARK DISTRICT

CLIENT ADDRESS:
635 NORTH ASPEN DRIVE
VERNON HILLS, IL 60061

PROJECT:
SKATE PARK
DEVELOPMENT

PROJECT LOCATION:
VERNON HILLS, ILLINOIS
LAKE COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
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Design/Drawn: SCD/LMV
Approved: LMV

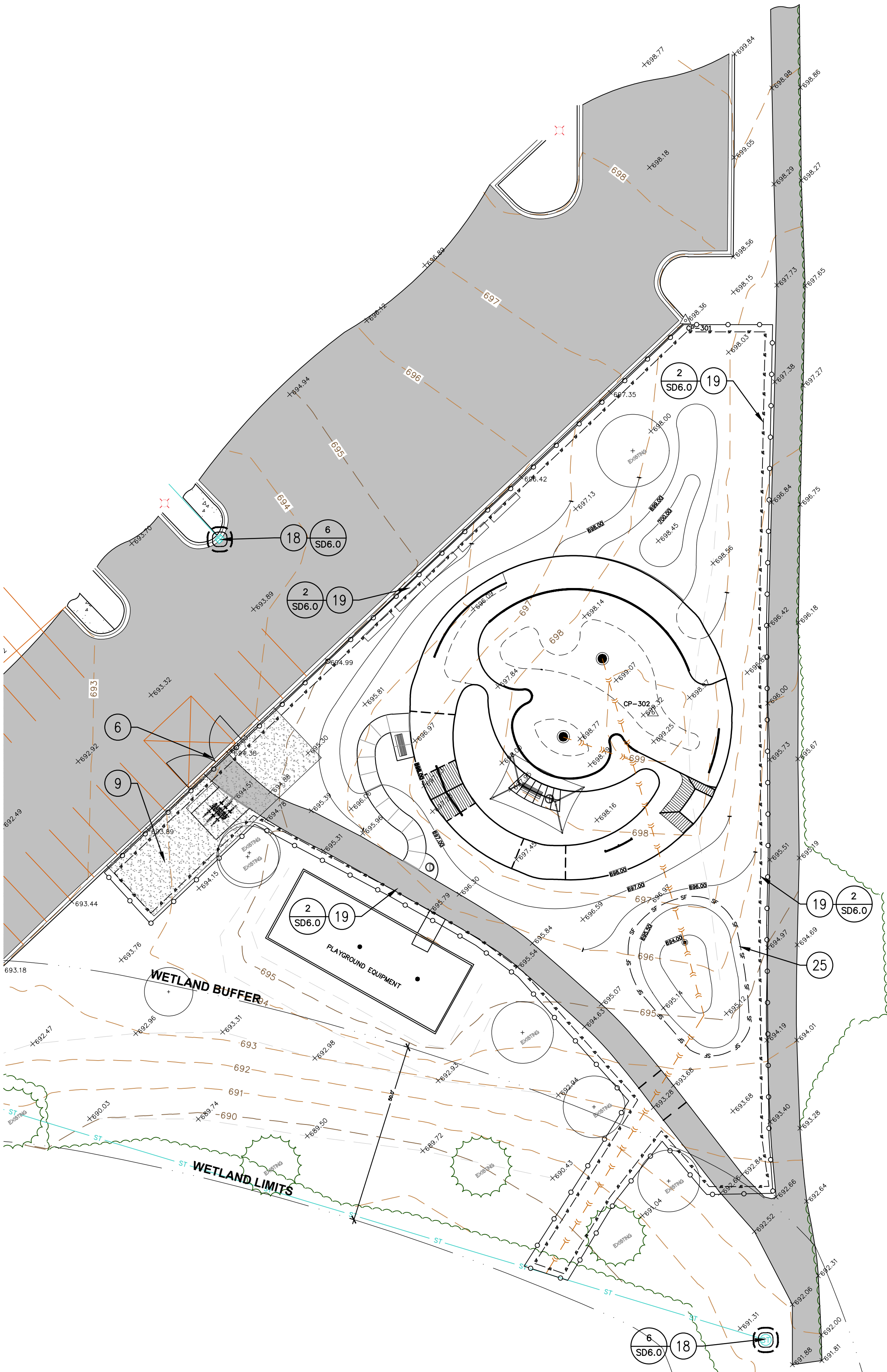
SHEET TITLE:
DEMOLITION /
TREE PRESERVATION
PLAN: SOUTH

SHEET NUMBER:

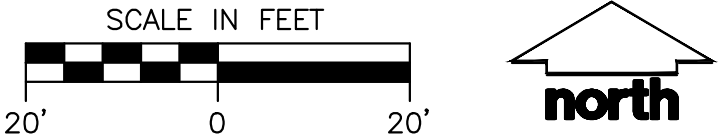
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JSD PROJECT NO: 19-9431

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SD2.2
SOIL EROSION AND SEDIMENT CONTROL PLAN



SOIL EROSION & SEDIMENT CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE TO NOTIFY LANDSCAPE ARCHITECT AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. LANDSCAPE ARCHITECT AND APPROPRIATE PARK DISTRICT/VILLAGE OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO DEVIATION OF THE APPROVED PLAN. PERIMETER EROSION CONTROL BARRIER SHALL BE INSTALLED AT LOCATIONS SPECIFIED IN THE PLANS AT 1 FOOT OUTSIDE THE TOE OF SLOPE OR INSIDE THE RIGHT-OF-WAY WHICHEVER IS CLOSER TO THE CENTERLINE, OR AS DIRECTED BY THE ENGINEER PRIOR TO THE START OF ANY EARTHWORK, CULVERT, OR STORM SEWER CONSTRUCTION.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR LANDSCAPE ARCHITECT SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST. IF INSTALLED SOIL EROSION AND SEDIMENT CONTROL MEASURES DO NOT MINIMIZE SEDIMENT LEAVING THE DEVELOPMENT SITE, ADDITIONAL MEASURES SUCH AS ANIONIC POLYMERS OR FILTRATION SYSTEMS MAY BE REQUIRED BY THE ENFORCEMENT OFFICER.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED AND DOCUMENTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST RECEIVE PRIOR APPROVAL BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE PARK DISTRICT.
- INLET PROTECTION SHALL BE IMMEDIATELY INSTALLED AT ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE FOLLOWING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER." ALL STOCKPILES SHALL HAVE APPROPRIATE MEASURES TO PREVENT EROSION. STOCKPILES SHALL NOT BE PLACED IN FLOOD PRONE AREAS OR WETLANDS AND DESIGNATED BUFFERS.
- DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION. THE INSTALLATION AND REMOVAL OF PERIMETER EROSION CONTROL BARRIER SHALL BE PAID FOR UNDER THE ITEM OF PERIMETER EROSION BARRIER. MAINTENANCE OF PERIMETER EROSION BARRIER SHALL BE PAID FOR UNDER THE ITEM OF MAINTENANCE OF TEMPORARY EROSION CONTROL SYSTEMS.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR AREAS THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR REPAIR AND MAINTENANCE DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN.
- REFER TO PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS (THE "GREEN BOOK") AS A GUIDELINE FOR EROSION CONTROL.
- STABILIZATION PRACTICES:**
 - *STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - *THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - *CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - *STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - * PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - * TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LBS/ACRE)
 - * HYDRO-MULCHING WITH A TACKIFIER
 - * GEOTEXTILE EROSION MATTING
 - * SODDING
- TEMPORARY AND PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH THE SOIL PROTECTION CHART SHOWN BELOW.

SOIL PROTECTION CHART STABILIZATION CHART

MONTH (NUMERICAL)	1	2	3	4	5	6	7	8	9	10	11	12	*
PERMANENT SEEDING			A										*
DORMANT SEEDING	B												
TEMPORARY SEEDING			C			D							
SODDING			F	**									
MULCHING	F												
HYDRO MULCH	C												

- A. KENTUCKY BLUEGRASS 90 LBS/AC. MIXED WITH PERENNIAL RYEGRASS 30 LBS./AC.
B. KENTUCKY BLUEGRASS 135 LBS/AC. MIXED WITH PERENNIAL RYEGRASS 45 LBS./AC. 2 TONS STRAW MULCH PER ACRE
C. SPRING OATS 100 LBS/AC.
D. WHEAT OR CEREAL RYE
E. SOD NURSERY GROWN KENTUCKY BLUEGRASS
F. STRAW MULCH 2 TONS PER ACRE
G. HYDRO MULCH 2 TONS & 2000 GAL PER ACRE

*IRRIGATION NEEDED DURING JUNE, JULY, AND SEPTEMBER (BY CONTRACTOR INCIDENTAL TO CONTRACT)
**IRRIGATION NEEDED 2-3 WEEKS AFTER SODDING (BY CONTRACTOR INCIDENTAL TO CONTRACT)

- SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR DURING ALL PHASES OF THE CONSTRUCTION UNTIL SUCH TIME CONSTRUCTION IN THE AREAS HAS ACHIEVED SUBSTANTIAL COMPLETION AND THE SITE STABILIZED.
- ALL STRUCTURES THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE. STRUCTURES TO BE REMOVED SHALL BE PROTECTED UNTIL REMOVAL.
- SINGLE ROW SILT FENCE.

- IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DISCHARGES SHALL BE ROUTED THROUGH AN APPROVED ANIONIC POLYMER DEWATERING SYSTEM OR A SIMILAR MEASURE AS APPROVED BY THE ENFORCEMENT OFFICER. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE ENFORCEMENT OFFICER, OR APPROVED REPRESENTATIVE, MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
- ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- AREAS OR EMBANKMENTS WITH 2:1 SLOPES OR STEEPER SHALL BE STABILIZED WITH SOD OR EROSION CONTROL BLANKET (SPECIAL) IN COMBINATION WITH SEEDING.
- AY SEDIMENT OR SOIL TRACKED OFF THE SITE SHALL BE REMOVED BY SCRAPING OR STREET SWEEPING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA. THIS WORK WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RETURNING ALL EXISTING AREAS (TO REMAIN) AFFECTED BY CONSTRUCTION ACTIVITIES, EQUIPMENT, OR LABORERS TO THE ORIGINAL UNDISTURBED CONDITIONS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROTECTING ALL NEW WORK UNTIL THE COMPLETION OF THE CONTRACT.
- DOUBLE ROW SILT FENCE FOR VOLUME CONTROL PROTECTION.

NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL NOTES:

THE MUNICIPALITY REQUIRES GENERAL COMPLIANCE WITH THE NPDES PHASE II PROGRAM, AS SUCH, THE MUNICIPALITY REQUIRES THAT ALL DEVELOPMENTS PROVIDE, TO THE EXTENT POSSIBLE, CONSTRUCTION SITE RUN-OFF CONTROL AND ILLICIT DISCHARGE PREVENTION AND ELIMINATION, ALL DEVELOPMENTS WILL PROVIDE THE FOLLOWING:

- AN EROSION CONTROL PLAN THAT PROVIDES FOR, AMONG OTHER THINGS, SILT FENCE AROUND THE SITE WHERE ANY RUN-OFF WOULD BE DIRECTED OFF-SITE, EITHER TEMPORARILY OR PERMANENTLY. INCLUDED IN THE PLAN WILL BE "SILT-SAVER" (OR EQUAL) FRAMES AND FILTER ASSEMBLIES OVER ALL STORM SEWER STRUCTURES. STRAW BALES WILL NO LONGER BE ALLOWED DUE TO THE LACK OF MAINTENANCE. SILTATION BASINS AND DITCH CHECKS WILL BE SHOWN AS APPROPRIATE. THE PLAN SHALL HAVE THE FOLLOWING CERTIFICATION: "THIS EROSION CONTROL PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND COMPLIES WITH THE URBAN SOIL EROSION CONTROL AND STANDARDS IN ILLINOIS MANUAL AND THE GENERALLY RECOGNIZED METHODS IN USE IN THE AREA." THE EROSION CONTROL PLAN SHALL BE SIGNED AND DATED BY THE PROJECT ENGINEER.
- ALL STORM WATER FRAMES AND GRATES SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK" OR OTHER ACCEPTABLE LETTERING AS APPROVED BY THE MUNICIPALITY.
- THE LAST CATCH BASIN PRIOR TO THE OUTLET TO A DETENTION SYSTEM OR NATURAL WATERWAY SHALL BE EQUIPPED WITH A TRAP SUCH AS THE SNOOT (OR EQUAL). THE CONTRACTOR SHALL CLEAN OUT ALL SUMPS OF SUSPENDED SOLIDS AND OTHER POLLUTANTS ON A REGULAR BASIS UNTIL THE MUNICIPALITY ACCEPTS THE IMPROVEMENTS.
- THE CONTRACTOR/APPLICANT SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.
- THE APPLICANT IS RESPONSIBLE FOR SUBMITTING THE NOTICE OF INTENT (NOI) TO THE IEPA AFTER THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE NOI IS POSTMARKED AT LEAST 30 DAYS BEFORE COMMENCEMENT OF ANY WORK ON SITE.
- THE SWPPP SHALL INCLUDE THE FOLLOWING ADDITIONAL CERTIFICATION AND SIGNATURE BY THE APPLICATION AND CONTRACTOR IN ACCORDANCE WITH IEPA GENERAL NPDES PERMIT NO. ILR-10. TWO ORIGINAL PLANS WITH SIGNATURES SHALL BE PREPARED, ONE SENT TO THE MUNICIPALITY AND THE OTHER KEPT ON SITE.
 - CONTRACTOR CERTIFICATION STATEMENT: "I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT (ILR-10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIES AS PART OF THIS CERTIFICATION.
 - APPLICANT CERTIFICATION STATEMENT: "I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHEMNTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."
- THE CONTRACTOR IS RESPONSIBLE FOR HAVING THE SWPPP ON SITE AT ALL TIMES.

CONTROL POINTS AND BENCHMARKS (NAVD 88)

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-300	2,028,779.26	1,082,808.53	692.43	CUT X
CP-301	2,028,989.53	1,083,031.19	698.32	CUT X
CP-302	2,028,880.87	1,083,022.21	699.38	M.A.G. NAIL



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VERNON HILLS
PARK DISTRICT

CLIENT ADDRESS:

635 NORTH ASPEN DRIVE
VERNON HILLS, IL 60061

PROJECT:

SKATE PARK
DEVELOPMENT

PROJECT LOCATION:

VERNON HILLS, ILLINOIS
LAKE COUNTY

PLAN MODIFICATIONS:

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Design/Drawn: SCD/LMV
Approved: LMV

SHEET TITLE:

SOIL EROSION AND
SEDIMENT CONTROL
PLAN

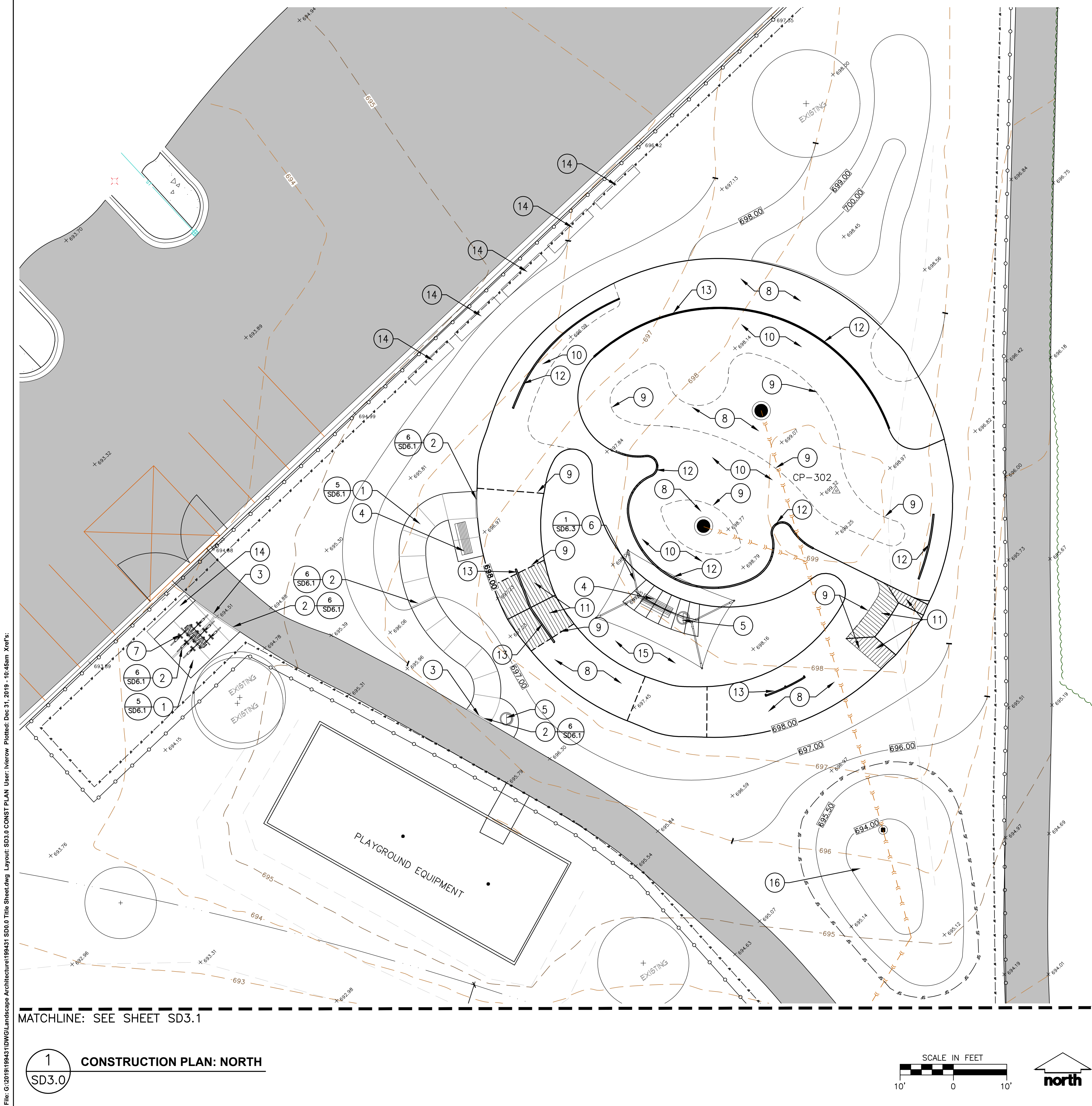
SHEET NUMBER:

SD2.2

JSD PROJECT NO: 19-9431

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SITE CONSTRUCTION PLAN NOTES:

- 5" REINFORCED CONCRETE WALK. SCORE WALK IN 5' MODULES OR AS SHOWN AND PROVIDE 1/2" EXPANSIONS JOINTS AT 30' INTERVALS OR AS SHOWN. BACKFILL WALK WHERE APPLICABLE WITH TOPSOIL BY AN APPROVED METHOD. SEE DETAIL.
- EXPANSION JOINT (TYP.). LOCATE AT INTERVALS OF 30' ON CENTER, OR AS SHOWN. SEE DETAIL.
- MEET EXISTING BITUMINOUS PAVEMENT ELEVATION WITH NEW 5" REINFORCED CONCRETE. ALL PAVEMENT TRANSITIONS SHALL BE SMOOTH AND SUBTLE. ANY ABRUPT OR NOTICEABLE ELEVATION CHANGES SHALL BE REMOVED OR REPAIRED AT NO ADDITIONAL EXPENSE TO THE PARK DISTRICT.
- PARK DISTRICT TO FURNISH AND INSTALL BENCH (BE), SURFACE MOUNT. SEE ALSO SITE FURNISHINGS SCHEDULE.
- PARK DISTRICT TO FURNISH AND INSTALL LITTER RECEPTACLE (LR), SURFACE MOUNT. SEE ALSO SITE FURNISHINGS SCHEDULE.
- FURNISH AND INSTALL SHADEWALK (SH). SEE ALSO SITE FURNISHINGS SCHEDULE AND DETAIL.
- PARK DISTRICT TO FURNISH AND INSTALL BIKE RACK (BR), SURFACE MOUNT. SEE ALSO SITE FURNISHINGS SCHEDULE.
- 5" REINFORCED CONCRETE PAVING SEE DETAIL #7, SHEET SD6.1.
- TOE CONNECTION. SEE DETAIL #2, SHEET SD6.2.
- TRANSITION RAMP (SHOTCRETE). SEE DETAIL #1, SHEET SD6.2.
- CONCRETE BANK. SEE DETAIL #4, SHEET SD6.2.
- STEEL COPING. SEE DETAIL #3, SHEET SD6.2.
- RAILING. SEE DETAIL #8 AND #9, SHEET SD6.1.
- JERSEY BARRIERS RELOCATED AND INSTALLED BY THE PARK DISTRICT. SET IN THE PRESENCE OF THE LANDSCAPE ARCHITECT. GIVE 48 HOURS NOTICE.
- LANDSCAPE AREA, SEE LANDSCAPE PLAN, L1.0.
- BIOINFILTRATION AREA. SEE GRADING AND DRAINAGE PLAN AND DETAIL.

LEGEND

- RAILING
- STEEL COPING
- BOTTOM OF TRANSITION RAMP
- INDICATES "BANK" INSTALLATION

CONTROL POINTS AND BENCHMARKS (NAVD 88)

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CP-301	2,028,989.53	1,083,031.19	698.32	CUT X
CP-302	2,028,880.87	1,083,022.21	699.38	M.A.G. NAIL

* SEE ALSO CONSTRUCTION PLAN GENERAL NOTES SHEET SD1.0



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CLIENT:

VERNON HILLS
PARK DISTRICT

CLIENT ADDRESS:

635 NORTH ASPEN DRIVE
VERNON HILLS, IL 60061

PROJECT:

SKATE PARK
DEVELOPMENT

PROJECT LOCATION:

VERNON HILLS, ILLINOIS
LAKE COUNTY

PLAN MODIFICATIONS:

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Design/Drawn: SCD/LMV
Approved: LMV

SHEET TITLE:

CONSTRUCTION
PLAN: NORTH

SHEET NUMBER:

SD3.0

JSD PROJECT NO: 19-9431

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MATCHLINE: SEE SHEET SD3.0



LEGEND

REMOVALS

SITE FURNISHINGS SCHEDULE

KEY	ITEM	MODEL	MANUFACTURER	QUANTITY	COMMENTS
BE	BENCH	BY PARK DISTRICT		2	FURNISH AND INSTALLED BY PARK DISTRICT
BE2	PLAYER BENCH	BY PARK DISTRICT		1	FURNISH AND INSTALLED BY PARK DISTRICT
BI	BIKE RACK	BY PARK DISTRICT		1	FURNISH AND INSTALLED BY PARK DISTRICT
LI	LITTER RECEPTACLE	BY PARK DISTRICT		1	FURNISH AND INSTALLED BY PARK DISTRICT
SS	DOUBLE POST HIP SHADE SYSTEM	142209DPH	SS	1	9' EAVE HEIGHT. IN-GROUND MOUNT. COLOR: TBD

MANUFACTURERS REPRESENTATIVES AND SUPPLIER LIST

SS	SHADE SYSTEMS	CONTACT: LANI CHAPLIK PARKREATION 847.363.3755 LANI@PARKREATION.COM
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SITE CONSTRUCTION PLAN NOTES:

- CONTRACTOR SHALL SAWCUT EXISTING BITUMINOUS PATH AT A 90° ANGLE TO THE PATH EDGE. BITUMINOUS ASPHALT REPLACEMENT SHALL MATCH EXISTING THICKNESS AND CA-7 CRUSHED LIMESTONE AGGREGATE TRENCH BACKFILL SHALL BE USED FOR THE ENTIRE DEPTH. SEE ALSO DEMOLITION PLAN SHEET SD 2.1.
- BIOINFILTRATION AREA. SEE GRADING AND DRAINAGE PLAN AND DETAIL.
- STORM SEWER CONNECTION. SEE GRADING AND DRAINAGE PLAN SD 4.0 AND DETAIL.



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Design/Drawn: SCD/LMV
Approved: LMV

SHEET TITLE:

CONSTRUCTION
PLAN: SOUTH

SHEET NUMBER:

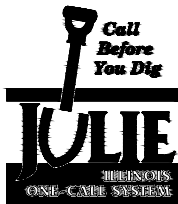
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JSD PROJECT NO: 19-9431

CONTROL POINTS AND BENCHMARKS (NAVD 88)

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
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* SEE ALSO CONSTRUCTION PLAN GENERAL NOTES SHEET SD1.0



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GRADING & DRAINAGE PLAN NOTES:

- ALL SURFACES SHALL BE GRADED FOR POSITIVE DRAINAGE. MAXIMUM SLOPE OF 20:1 ON ALL PAVED AREAS UNLESS OTHERWISE NOTED. SLOPES GREATER THAN 20:1 WILL NOT BE ACCEPTED.
- SLOPES BETWEEN SPOT ELEVATIONS ON PAVEMENT SHALL BE CONSISTENT.
- CONTRACTOR TO DISTRIBUTE TOPSOIL FOR ALL TURF AREAS TO AVERAGE DEPTH OF 6" TO ACHIEVE THE GRADES SHOWN AND PLANTING AREAS TO AVERAGE DEPTH OF 12" TO ACHIEVE THE GRADES AS SHOWN ON THE PLANS.
- PROMPTLY NOTIFY THE LANDSCAPE ARCHITECT IF UNSATISFACTORY SUB-GRADE MATERIALS ARE DISCOVERED. NO PAYMENT WILL BE MADE FOR ADDITIONAL WORK COMPLETED WITHOUT PRIOR AUTHORIZATION BY OWNERS REPRESENTATIVE.
- ALL HIGH POINTS, LOW POINTS OR GRADE BREAKS ON CONCRETE SURFACES SHALL HAVE A SMOOTH CURVE. CONCRETE SHALL NOT BE BUILT TO A POINT.
- INTENTIONALLY OMITTED.
- FURNISH AND INSTALL 6" PERFORATED SDR-26 WITH 3/4" WASHED GRAVEL BACKFILL, SOIL SEPARATOR AND FILTER FABRIC SOCK ON ALL PERFORATED PIPE AT THE ELEVATIONS SHOWN. REVIEW FINAL LOCATION OF DRAINAGE PIPE. SEE DETAIL.
- FURNISH AND INSTALL 6" RIGID NON-PERFORATED SDR-26 WITH CA-7 CRUSHED LIMESTONE AGGREGATE. SEE DETAIL.
- FURNISH AND INSTALL 4" RIGID NON-PERFORATED SDR-26 WITH CA-7 CRUSHED LIMESTONE AGGREGATE. SEE DETAIL.
- FURNISH AND INSTALL 6" DRAIN INLET, MODEL #42846 BY PRO FLO OR APPROVED EQUAL. SEE DETAIL.
- FURNISH AND INSTALL BIORETENTION FACILITY. SEE DETAIL.
- CONTRACTOR SHALL COORDINATE WITH THE VILLAGE OF VERNON HILLS PUBLIC WORKS DEPARTMENT. THE PUBLIC WORKS DEPARTMENT WILL ASSIST IN CORING THE CONNECTION FOR THE NEW STORM SEWER PIPE CONNECTION. THE CONTRACTOR SHALL EXPOSE THE EXISTING RCP FOR THE PUBLIC WORKS DEPARTMENT TO MAKE THE NEW CONNECTION BY CORE AND BOOT. FIELD VERIFY CONDITION AND LOCATION. NOTIFY THE OWNER/LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK IN THIS AREA.
- FURNISH AND INSTALL 6" WYE.
- FURNISH AND INSTALL OBSERVATION WELL. SEE BIORETENTION DETAIL.

LEGEND

- PROPERTY LINE
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- EXISTING 5 FOOT CONTOUR
- SLOPE DIRECTION

- SPOT ELEVATION LEGEND
 - EP - EDGE OF PAVEMENT
 - FG - FINISH GRADE
 - TP - TOP OF PAVEMENT
 - BOC - BACK OF CURB
 - ME - MATCH EXISTING GRADE
 - HP - HIGH POINT
 - VF - VERIFY IN FIELD
- INLET PROTECTION

CONTROL POINTS AND BENCHMARKS (NAVD 88)

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* SEE ALSO GRADING PLAN GENERAL NOTES SHEET SD1.0



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Design/Drawn: SCD/LMV
Approved: LMV

SHEET TITLE:

GRADING &
DRAINAGE PLAN

SHEET NUMBER:

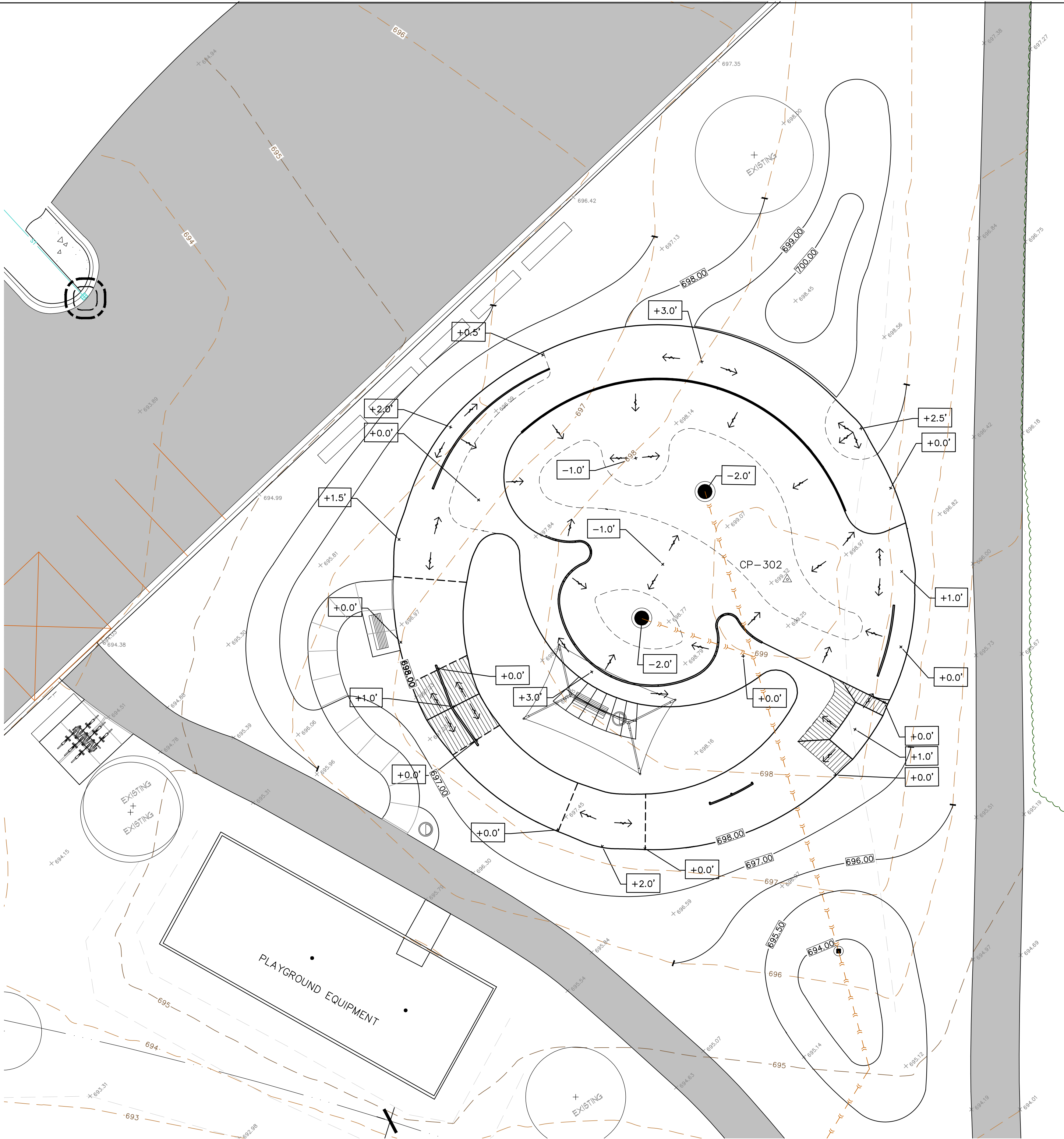
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JSD PROJECT NO: 19-9431



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LEGEND

-----	PROPERTY LINE
-----	PROPOSED 1 FOOT CONTOUR
-----	PROPOSED 5 FOOT CONTOUR
-----	EXISTING 1 FOOT CONTOUR
-----	EXISTING 5 FOOT CONTOUR
→	SLOPE DIRECTION
+1.0'	INDICATES ELEVATION DIFFERENCE FROM EXISTING FINISH GRADE (0.00')

PIP CONCRETE PLAN NOTES:

1. ALL SURFACES SHALL BE GRADED FOR POSITIVE DRAINAGE. MAXIMUM SLOPE OF 20:1 ON ALL PAVED AREAS UNLESS OTHERWISE NOTED. SLOPES GREATER THAN 20:1 WILL NOT BE ACCEPTED.
2. SLOPES BETWEEN SPOT ELEVATIONS ON PAVEMENT SHALL BE CONSISTENT.
3. CONTRACTOR TO DISTRIBUTE TOPSOIL FOR ALL TURF AREAS TO AVERAGE DEPTH OF 6" TO ACHIEVE THE GRADES SHOWN AND PLANTING AREAS TO AVERAGE DEPTH OF 12" TO ACHIEVE THE GRADES AS SHOWN ON THE PLANS.
4. PROMPTLY NOTIFY THE LANDSCAPE ARCHITECT IF UNSATISFACTORY SUB-GRADE MATERIALS ARE DISCOVERED. NO PAYMENT WILL BE MADE FOR ADDITIONAL WORK COMPLETED WITHOUT PRIOR AUTHORIZATION BY OWNERS REPRESENTATIVE.
5. ALL HIGH POINTS, LOW POINTS OR GRADE BREAKS ON CONCRETE SURFACES SHALL HAVE A SMOOTH CURVE. CONCRETE SHALL NOT BE BUILT TO A POINT.
6. DRAINAGE BEHIND WALLS AND TRANSITION RAMPS IS AT THE DISCRETION AND RESPONSIBILITY OF THE CONTRACTOR. HOWEVER, POSITIVE DRAINAGE DIRECTED AWAY FROM THE SKATEPARK MUST BE MAINTAINED.

CONTROL POINTS AND BENCHMARKS (NAVD 88)

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-300	2,028,779.26	1,082,808.53	692.43	CUT X
CP-301	2,028,989.53	1,083,031.19	698.32	CUT X
CP-302	2,028,880.87	1,083,022.21	699.38	M.A.G. NAIL

* SEE ALSO GRADING PLAN GENERAL NOTES SHEET SD1.0



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DES PLAINES, IL 60018
P. 312.644.3379

CLIENT:

VERNON HILLS
PARK DISTRICT

CLIENT ADDRESS:

635 NORTH ASPEN DRIVE
VERNON HILLS, IL 60061

PROJECT:

SKATE PARK
DEVELOPMENT

PROJECT LOCATION:

VERNON HILLS, ILLINOIS
LAKE COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	12.17.19	Permit Set
2	12.23.19	Permit Resubmittal
3	01.06.20	Permit Resubmittal/Bid Set
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Design/Drawn: SCD/LMV
Approved: LMV

SHEET TITLE:

POURED-IN-PLACE
CONCRETE PLAN

SHEET NUMBER:

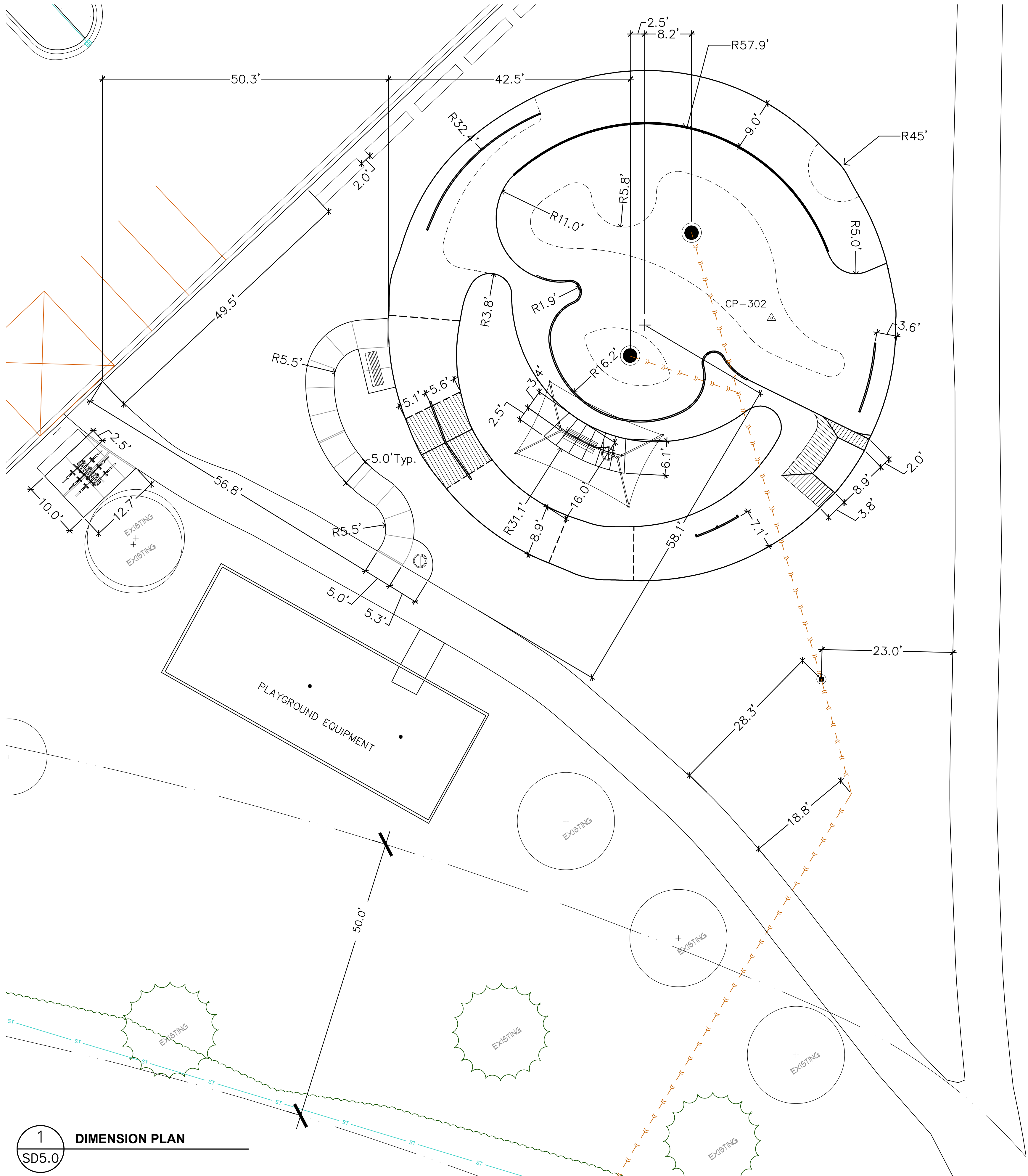
SD4.1

JSD PROJECT NO: 19-9431



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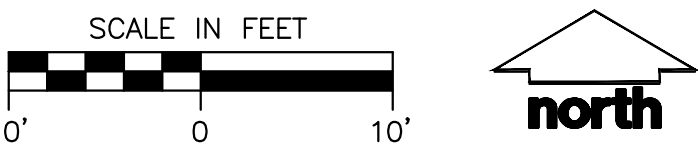
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LAYOUT AND DIMENSION PLAN NOTES:

1. CONTRACTOR RESPONSIBLE FOR FIELD LAYOUT OF ALL NEW IMPROVEMENTS. DIGITAL FILES OF GEOMETRIC INFORMATION AVAILABLE UPON REQUEST IN AUTOCAD FORMAT. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADJUSTMENTS NECESSARY TO CONSTRUCT THE WORK AS DRAWN.
2. CONTRACTOR RESPONSIBLE TO COORDINATE WORK IN ORDER TO OBTAIN APPROVAL OF ALL LAYOUT BY THE LANDSCAPE ARCHITECT/PARK DISTRICT PRIOR TO CONSTRUCTION. (THIS WORK IS CONSIDERED INCIDENTAL TO THE PROJECT AND NOT PAID AS A SEPARATE LINE ITEM). NO ADDITIONAL PAYMENT SHALL BE MADE TO CORRECT WORK IF CONSTRUCTED INCORRECTLY PRIOR TO APPROVAL OF LAYOUT.
3. ALL DIMENSION LINES SHALL EXTEND PERPENDICULAR (90 DEGREES) UNLESS OTHERWISE NOTED. ALL WALLS ARE DIMENSIONED TO FACE OF WALL UNLESS OTHERWISE NOTED.
4. ALL CURVES AND RADII TO BE SMOOTH AND NOT SEGMENTED. CONTRACTOR TO PROVIDE STAKES A MINIMUM OF EVERY 10 FEET WHERE RADIOS POINT ARE NOT ACCESSIBLE.
5. ALL PLAN FEATURES SHALL BE LAID OUT AND PAINTED OR MARKED IN THE FIELD BY THE CONTRACTOR AND REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. GIVE 48 HOURS NOTICE.
6. UNLESS OTHERWISE NOTED, ALL ANGLES ARE 90 DEGREES OR 45 DEGREES.
7. ALL CURB DIMENSIONS ARE GIVEN TO THE BACK OF CURB, ALL EXPANSION JOINTS AND CONTROL JOINTS SHALL BE LOCATED AS SHOWN IN THE DRAWINGS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL CONCRETE WORK USING FORM LUMBER AND STAKES STRONG ENOUGH AND AT INTERVALS FREQUENT ENOUGH TO ASSURE ACCURATE ANGLES AND SMOOTH CONTINUOUS RADII.
9. ALL DIMENSIONS AND LAYOUT TO BE CONFIRMED IN THE FIELD WITH THE SKATE PARK MANUFACTURER. GIVE 48 HOURS NOTICE.

POINT OF BEGINNING (P.O.B.):			
NORTHING	202	8869	
EASTING	108	2904	



CONTROL POINTS AND BENCHMARKS (NAVD 88)

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
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CP-301	2,028,989.53	1,083,031.19	698.32	CUT X
CP-302	2,028,880.87	1,083,022.21	699.38	M.A.G. NAIL

* SEE ALSO DIMENSION PLAN GENERAL NOTES SHEET SD1.0



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DES PLAINES, IL 60018
P. 312.644.3379

CLIENT:

VERNON HILLS
PARK DISTRICT

CLIENT ADDRESS:

635 NORTH ASPEN DRIVE
VERNON HILLS, IL 60061

PROJECT:

SKATE PARK
DEVELOPMENT

PROJECT LOCATION:

VERNON HILLS, ILLINOIS
LAKE COUNTY

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Design/Drawn: SCD/LMV
Approved: LMV

SHEET TITLE:
DIMENSION PLAN

SHEET NUMBER:

SD5.0

JSD PROJECT NO: 19-9431



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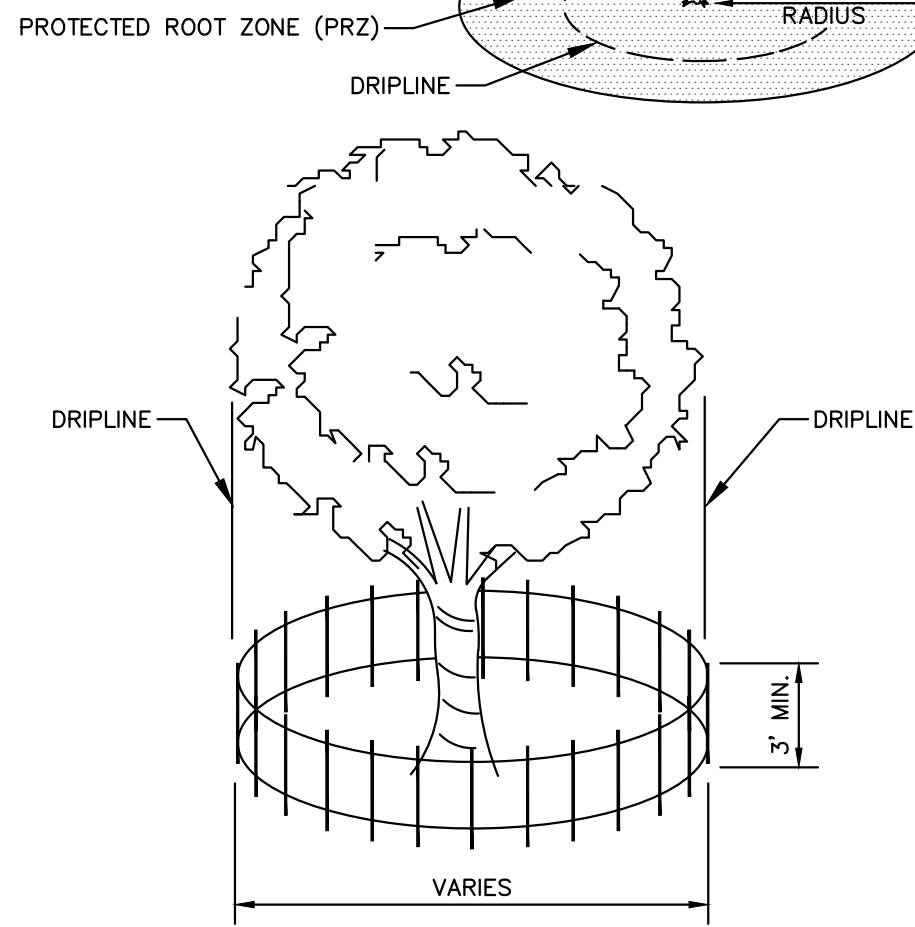
APPROXIMATE A TREE'S PROTECTED ROOT ZONE BY CALCULATING THE CRITICAL ROOT RADIUS (CRR). FIRST, MEASURE THE TREE DIAMETER IN INCHES AT BREAST HEIGHT (DBH). THEN MULTIPLY THAT NUMBER BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.

EXAMPLE: DBH = 8 inches
 $8 \times 1.5 = 12$
CRR = 12 feet

DBH \times 1.5 = CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY OR SENSITIVE SPECIES

OR

DBH \times 1.0 = CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES



NOTE:

- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA SURROUNDING THE TREE WITHIN THE CRITICAL ROOT RADIUS
- NO EXCAVATION IS PERMITTED WITHIN THE CRITICAL ROOT RADIUS
- IF EXCAVATION WITHIN THE CRITICAL ROOT RADIUS OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTER PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.

1 TREE PROTECTION FENCING

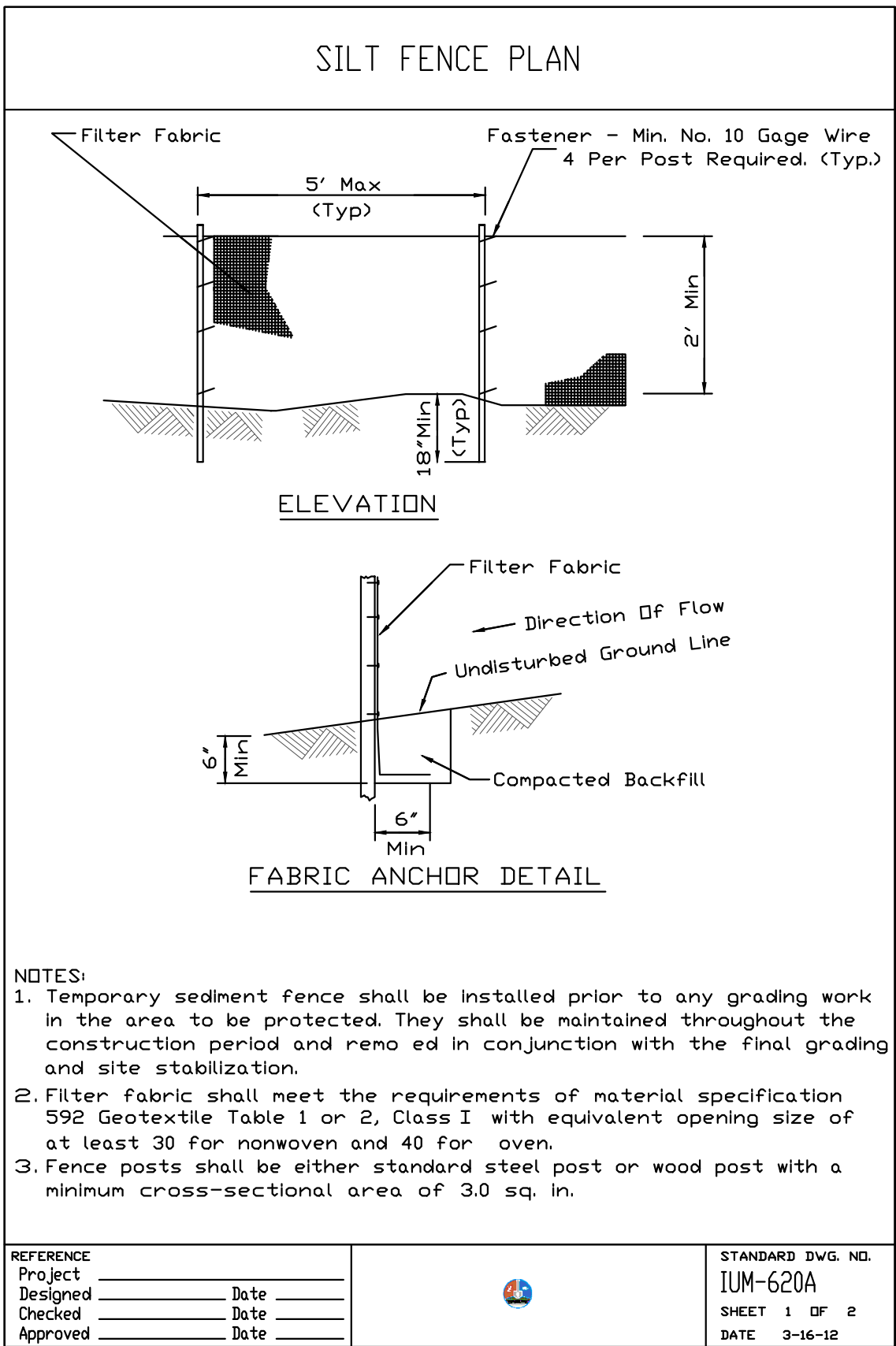
SD6.0

NTS

2 SILT FENCE

SD6.0

NTS



NOTES:

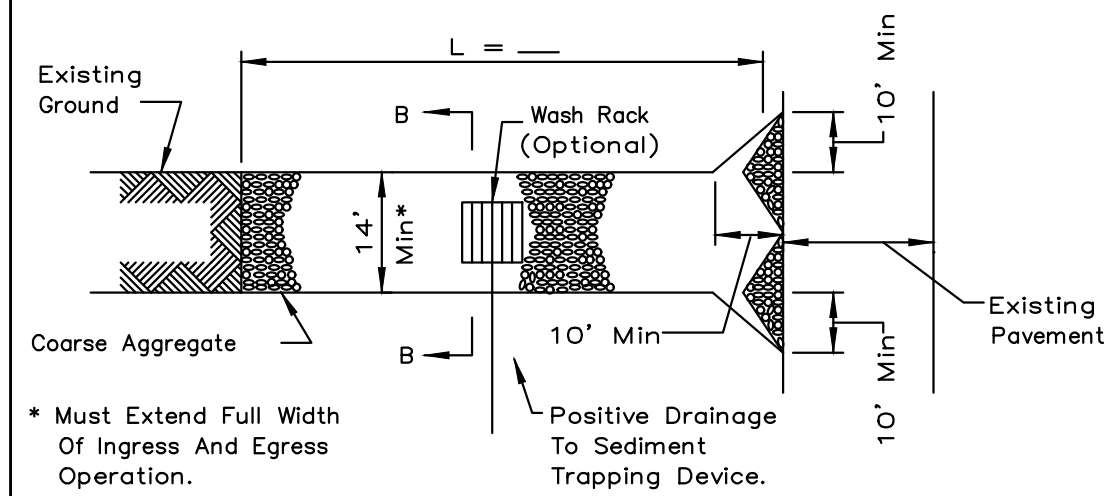
- Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
- Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 40 for woven.
- Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE	
Project	
Designed	Date
Checked	Date
Approved	Date



STANDARD DWG. NO.	IUM-620A
SHEET 1 OF 2	
DATE	3-16-12

STABILIZED CONSTRUCTION ENTRANCE PLAN



- * Must Extend Full Width Of Ingress And Egress Operation.

NOTES:

- Filter fabric shall meet the requirements of material specification 592 GEOTEXTILE, Table 1 or 2, Class I and shall be placed over the cleared area prior to the placing of rock.
- Rock or reclaimed concrete shall meet one of the following IDOT coarse aggregate gradation, CA-1, CA-2, CA-3 or CA-4 and be placed according to construction specification 25 ROCKFILL using placement Method 1 and Class III compaction.
- Any drainage facilities required because of washing shall be constructed according to manufacturers specifications.
- If wash racks are used they shall be installed according to the manufacturer's specifications.

REFERENCE	
Project	
Designed	Date
Checked	Date
Approved	Date

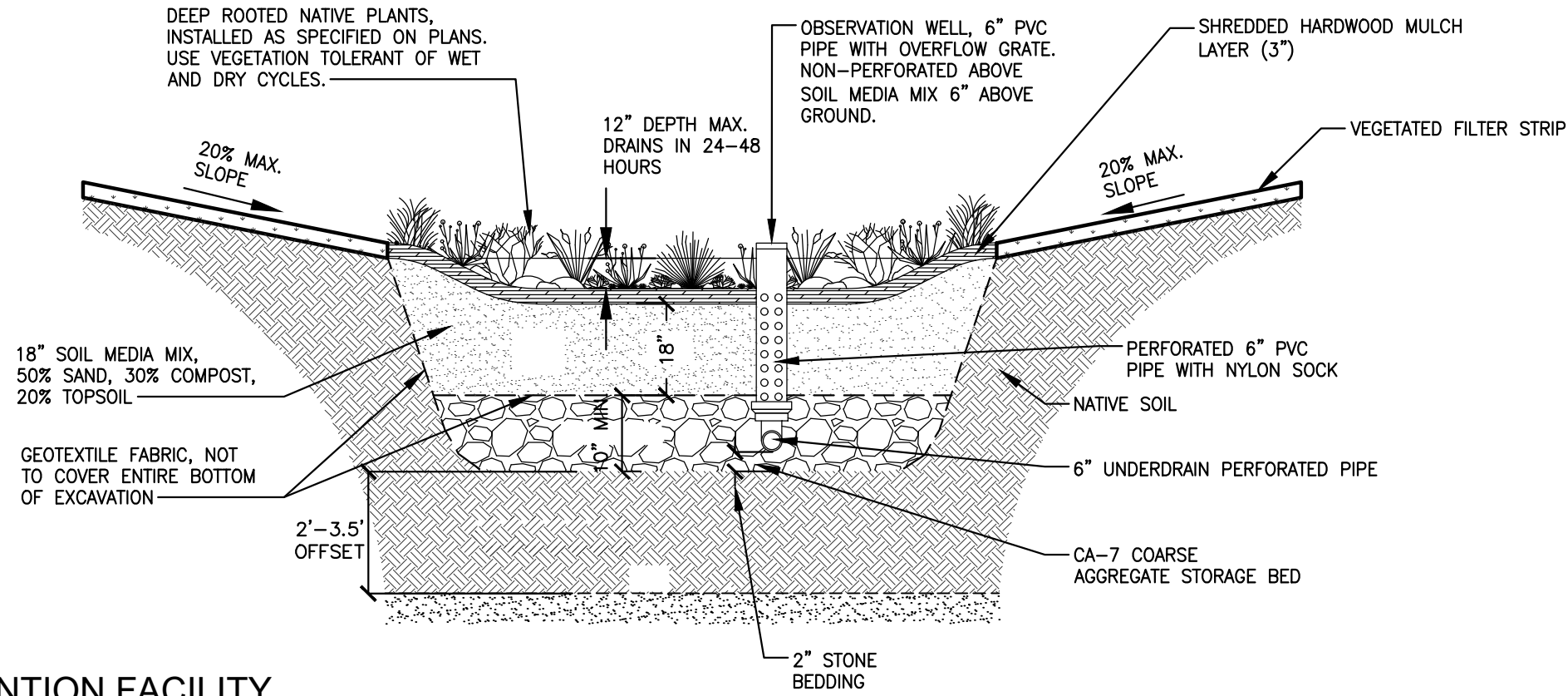


STANDARD DWG. NO.	IL-630
SHEET 1 OF 2	
DATE	8-18-94

3 CONSTRUCTION ENTRANCE

SD6.0

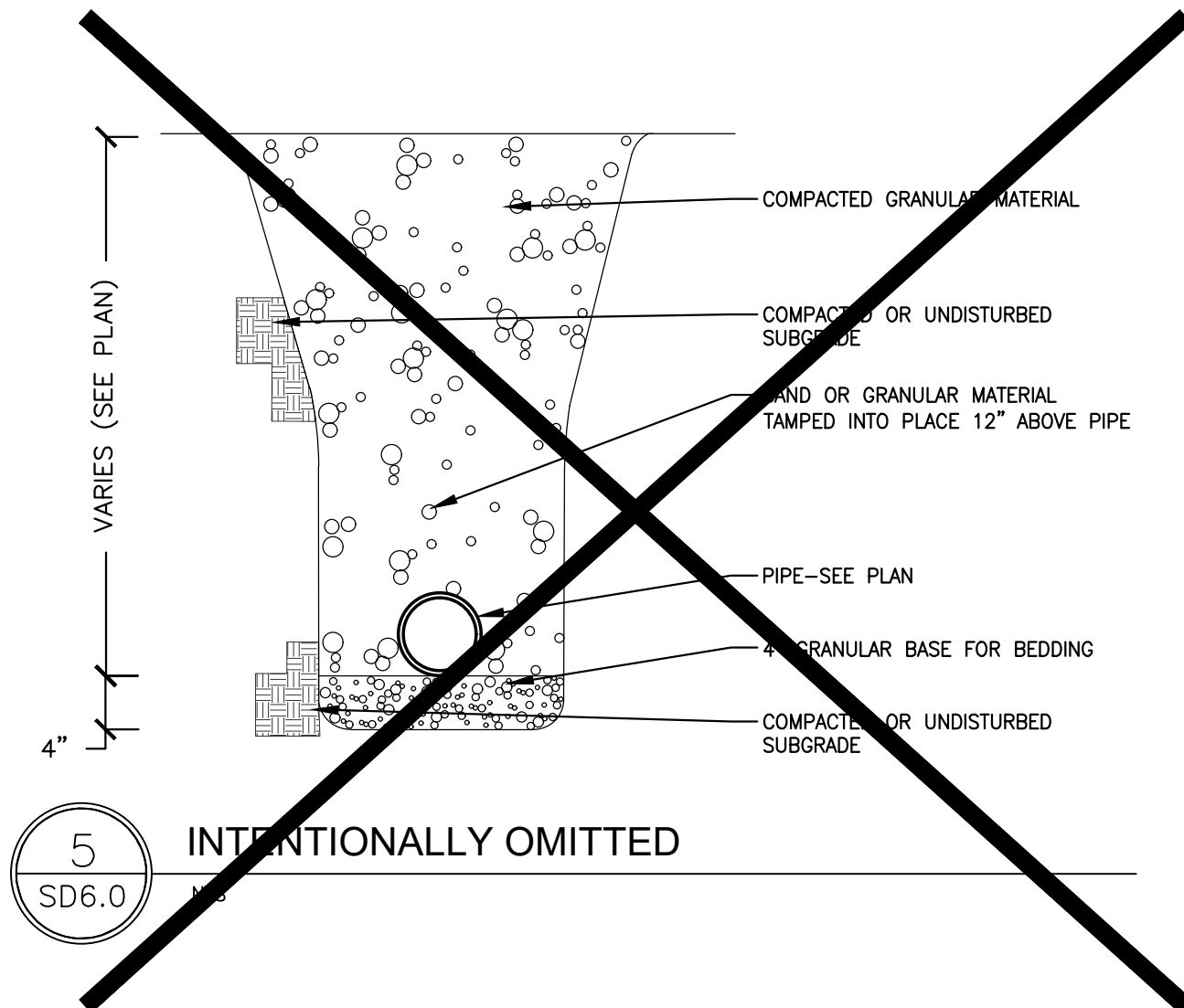
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4 BIORETENTION FACILITY

SD6.0

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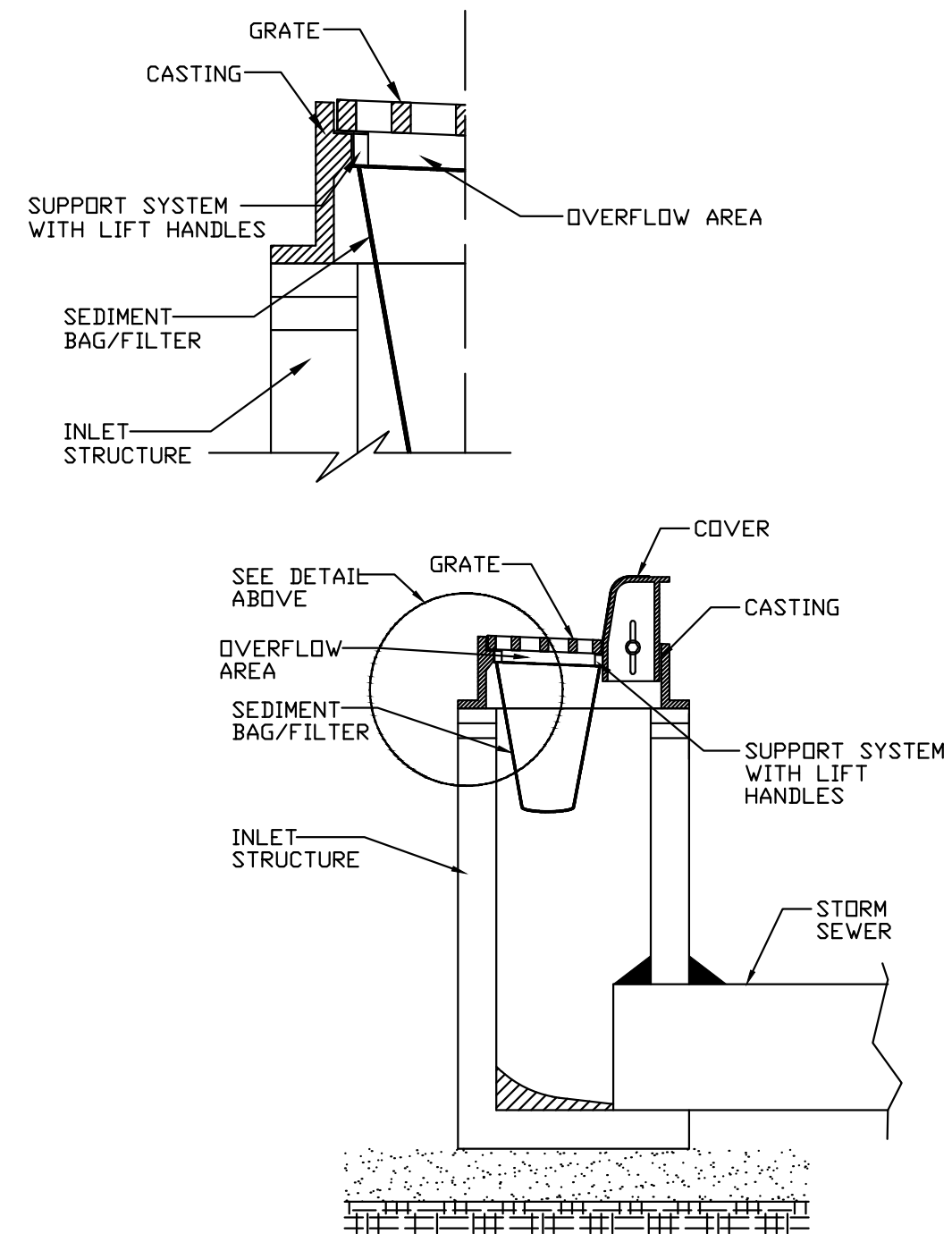


5 INTENTIONALLY OMITTED

SD6.0

NTS

INLET PROTECTION - PAVED AREAS DROP-IN PROTECTION



REFERENCE	
Project	
Designed	Date
Checked	Date
Approved	Date

STANDARD DWG. NO.	IUM-561D
SHEET 1 OF 1	
DATE	01-11-11

6 INLET PROTECTION

SD6.0

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P. 312.644.3379

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PARK DISTRICT

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VERNON HILLS, IL 60061

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SKATE PARK
DEVELOPMENT

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Design/Drawn: SCD/LMV
Approved: LMV

SHEET TITLE:

DETAILS

SHEET NUMBER:

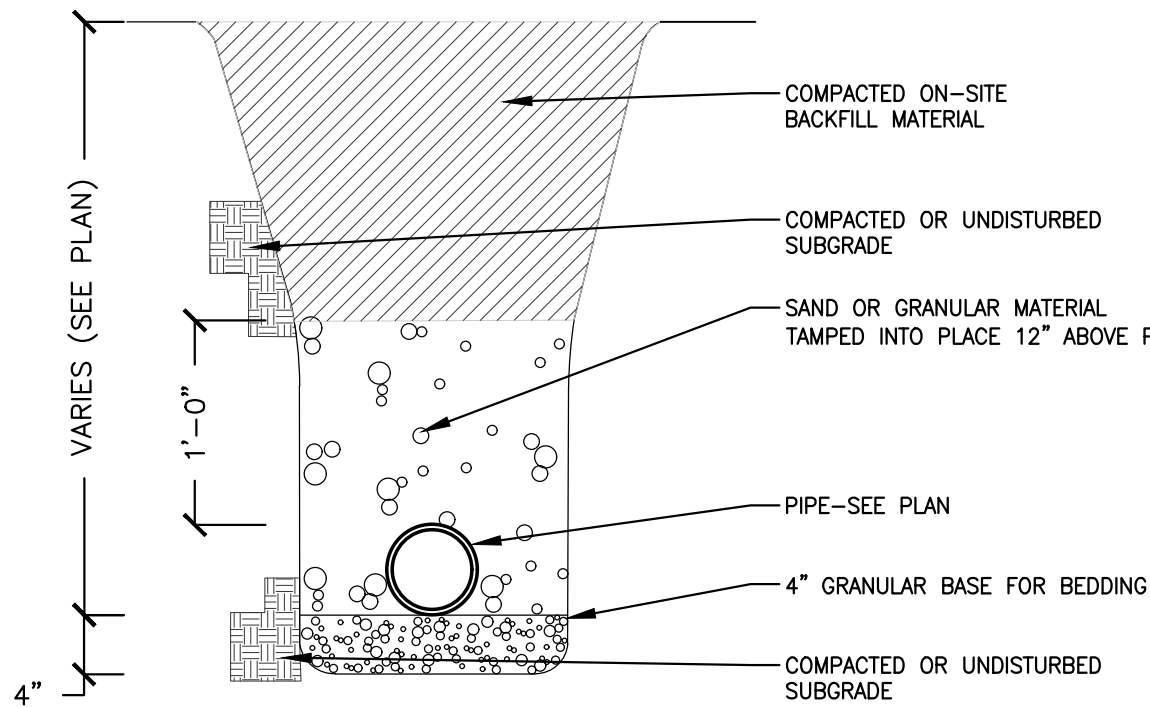
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JSD PROJECT NO:

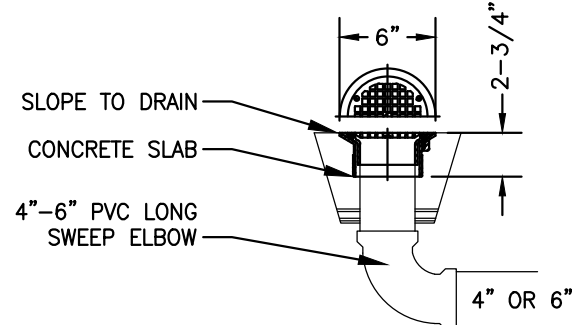
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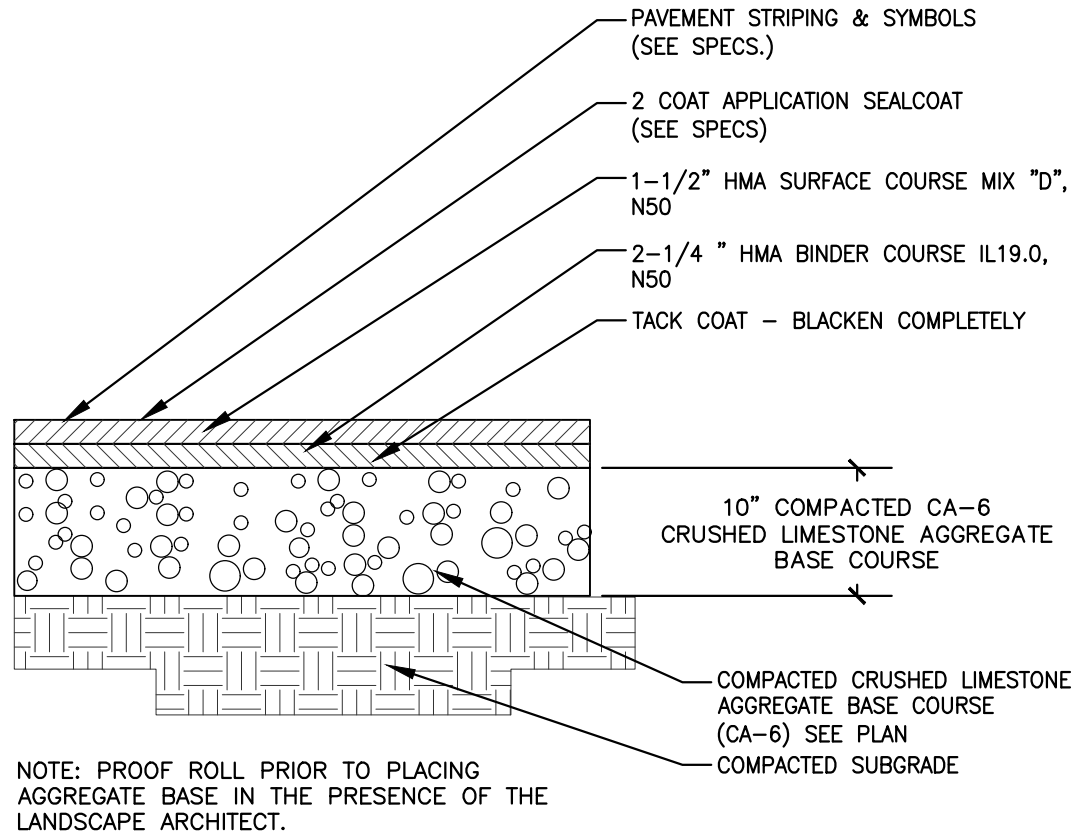
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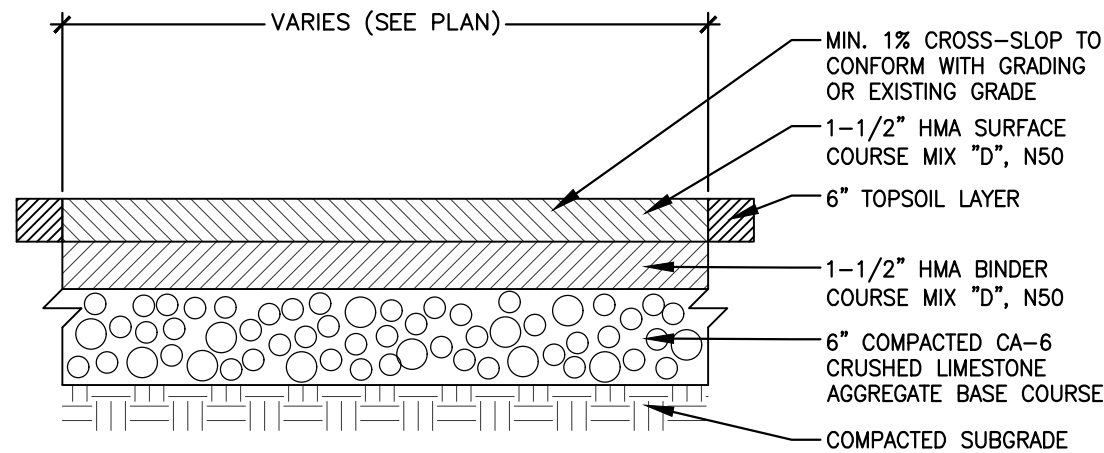
1 STORM SEWER TRENCH: LANDSCAPE AREAS
SD6.1 NTS



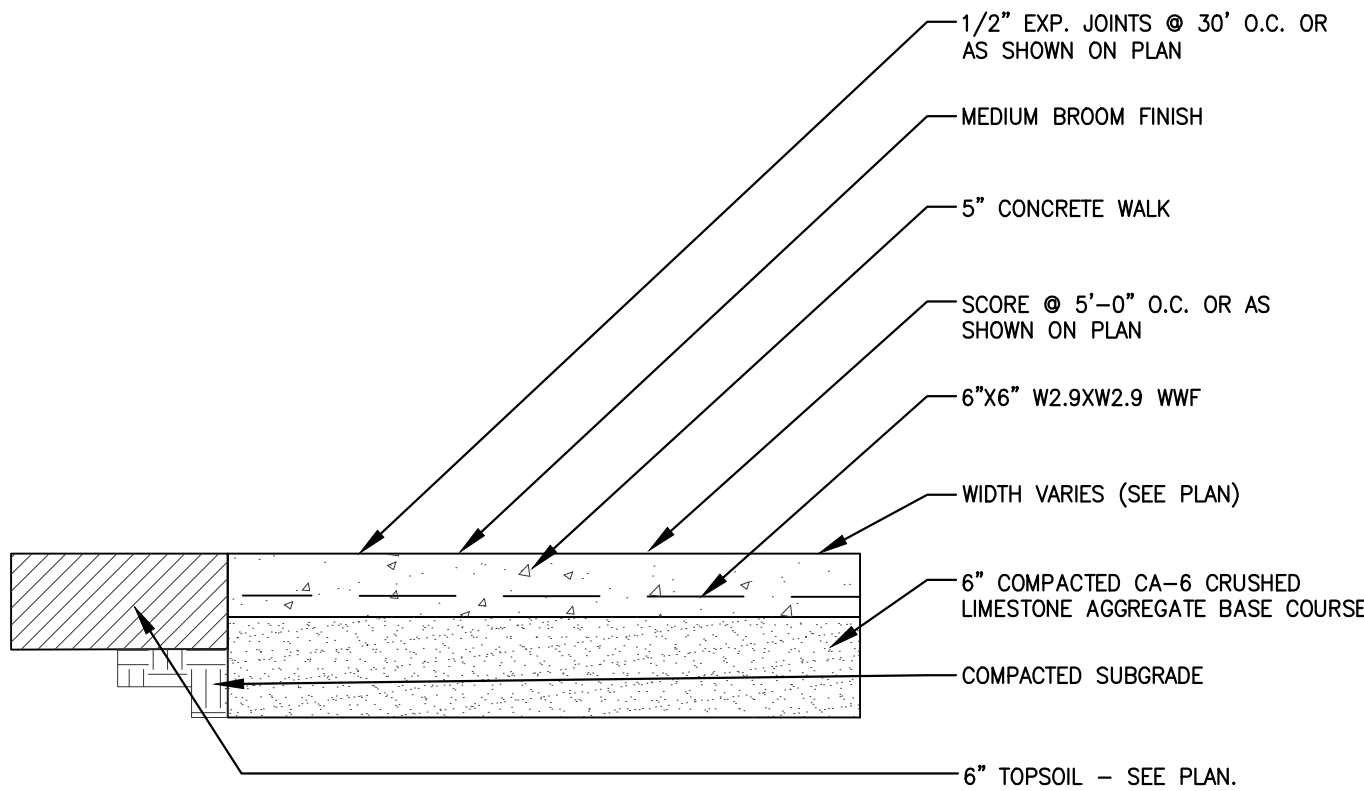
2 DRAIN INLET
SD6.1 NTS



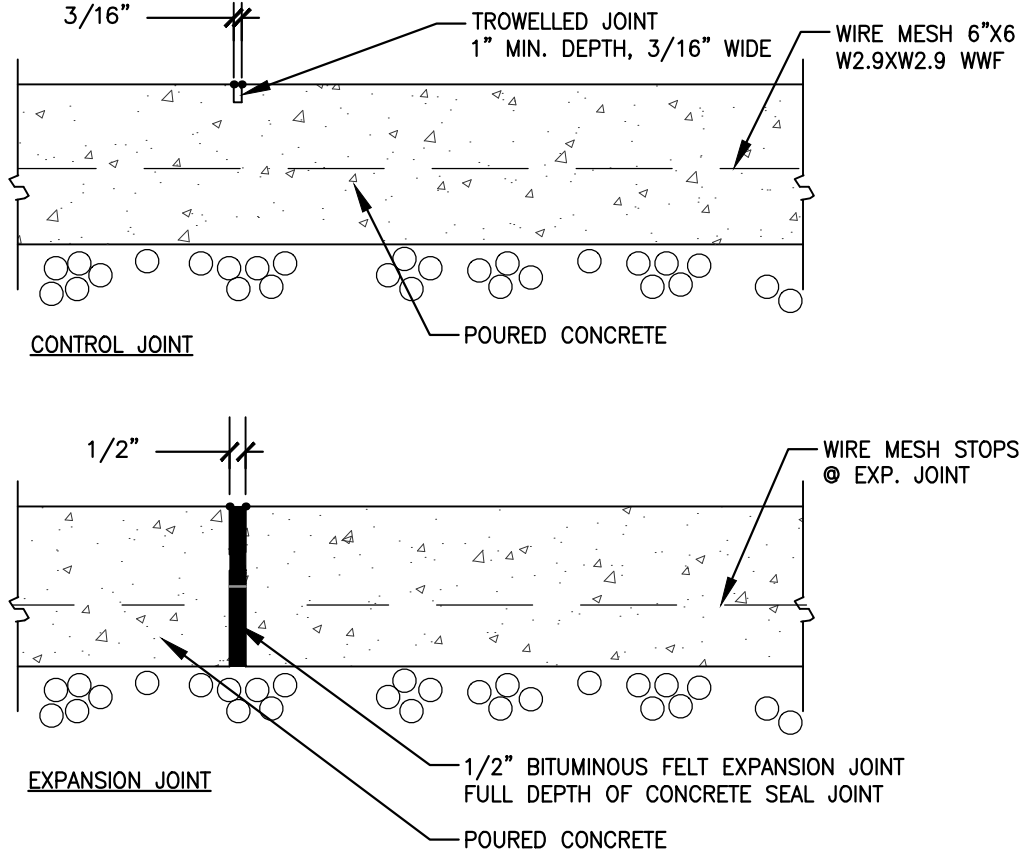
3 BITUMINOUS PAVEMENT (PARKING LOT) (IF NEEDED)
SD6.1 NTS



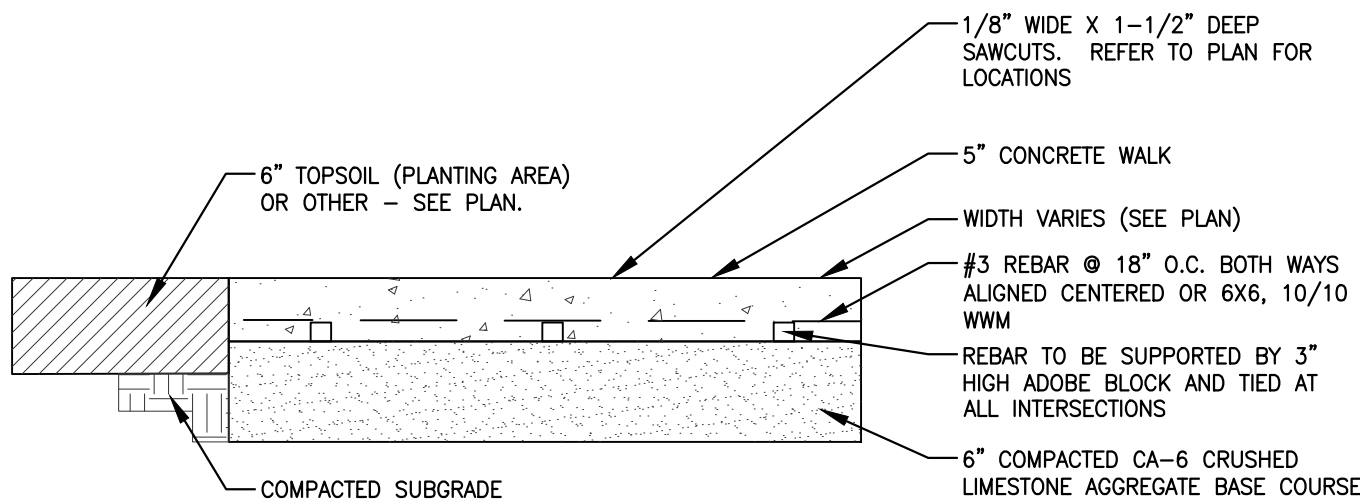
4 BITUMINOUS PAVEMENT (PATH) (IF NEEDED)
SD6.1 NTS



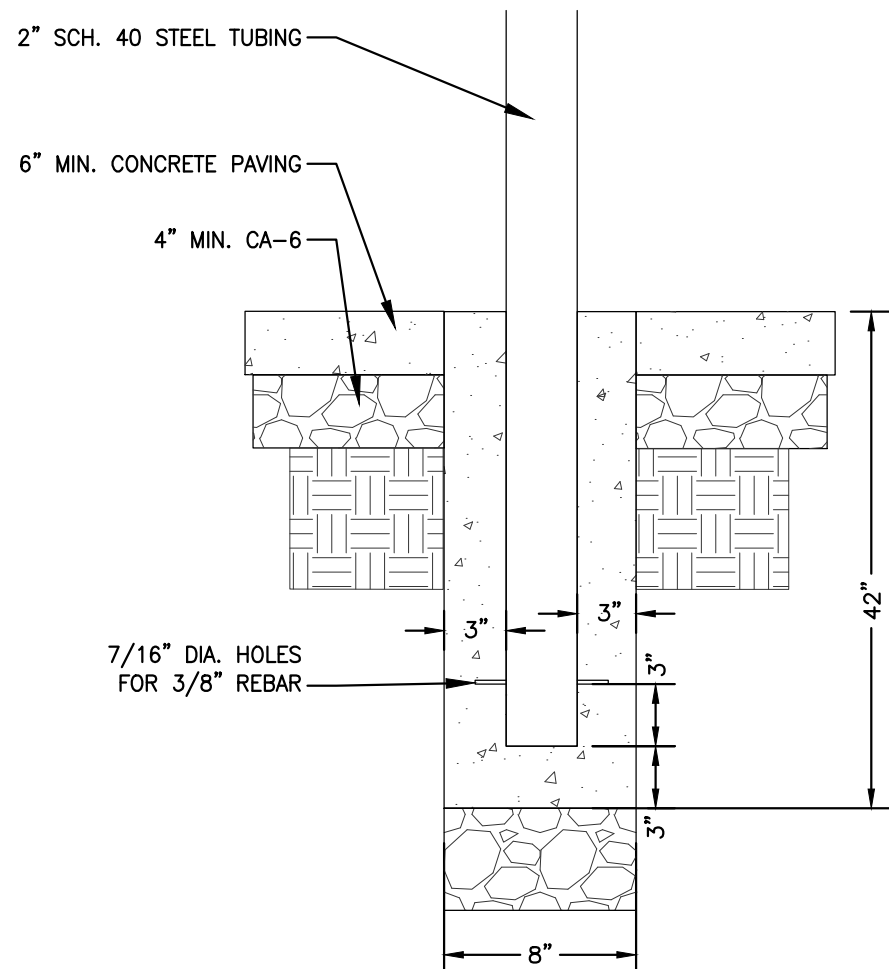
5 5" REINFORCED CONCRETE WALK
SD6.1 NTS



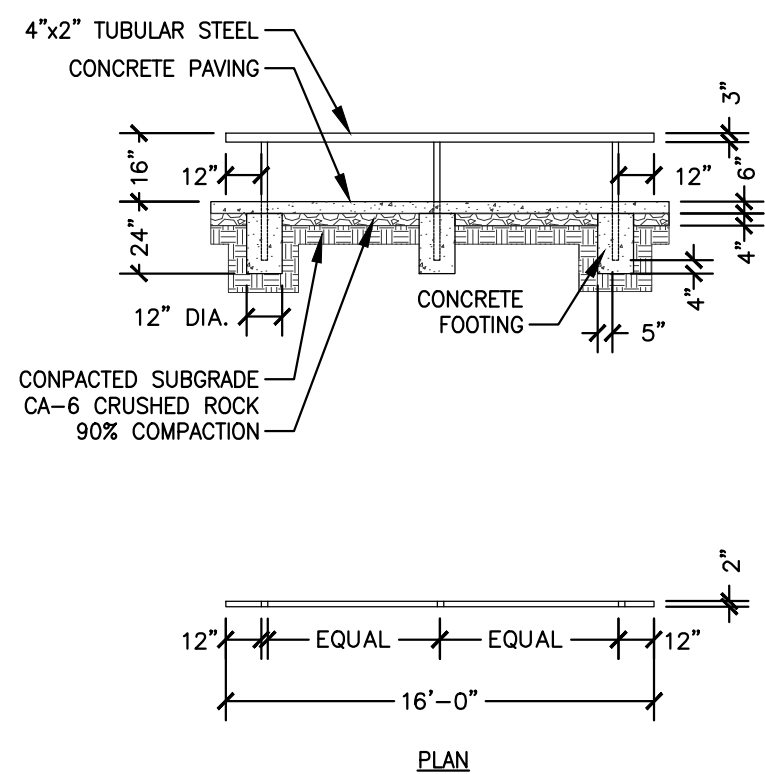
6 EXPANSION JOINT/CONTROL JOINT
SD6.1 NTS



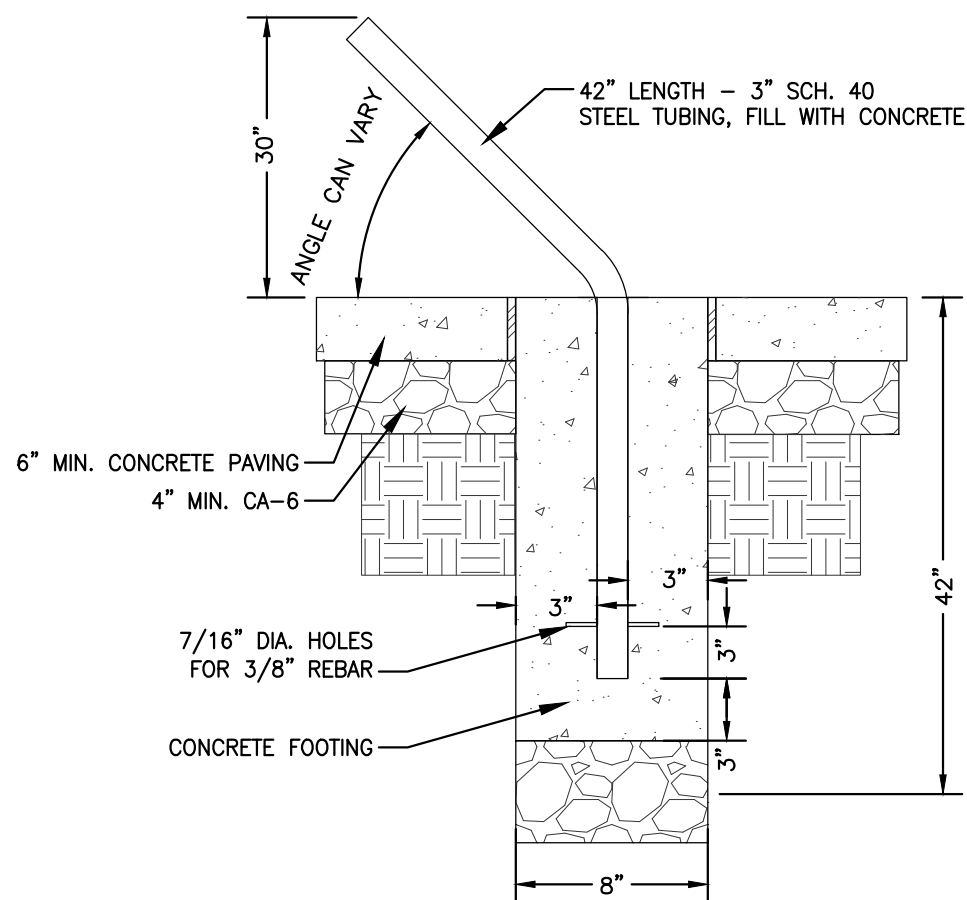
7 5" REINFORCED CONCRETE (SKATEPARK FLAT)
SD6.1 NTS



8 RAILING EMBEDMENT
SD6.1 NTS



9 FLAT RAIL
SD6.1 NTS



10 POLE JAM
SD6.1 NTS



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P. 312.644.3379

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VERNON HILLS
PARK DISTRICT

CLIENT ADDRESS:

635 NORTH ASPEN DRIVE
VERNON HILLS, IL 60061

PROJECT:

SKATE PARK
DEVELOPMENT

PROJECT LOCATION:

VERNON HILLS, ILLINOIS
LAKE COUNTY

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Design/Drawn: SCD/LMV
Approved: LMV

SHEET TITLE:

DETAILS

SHEET NUMBER:

SD6.1

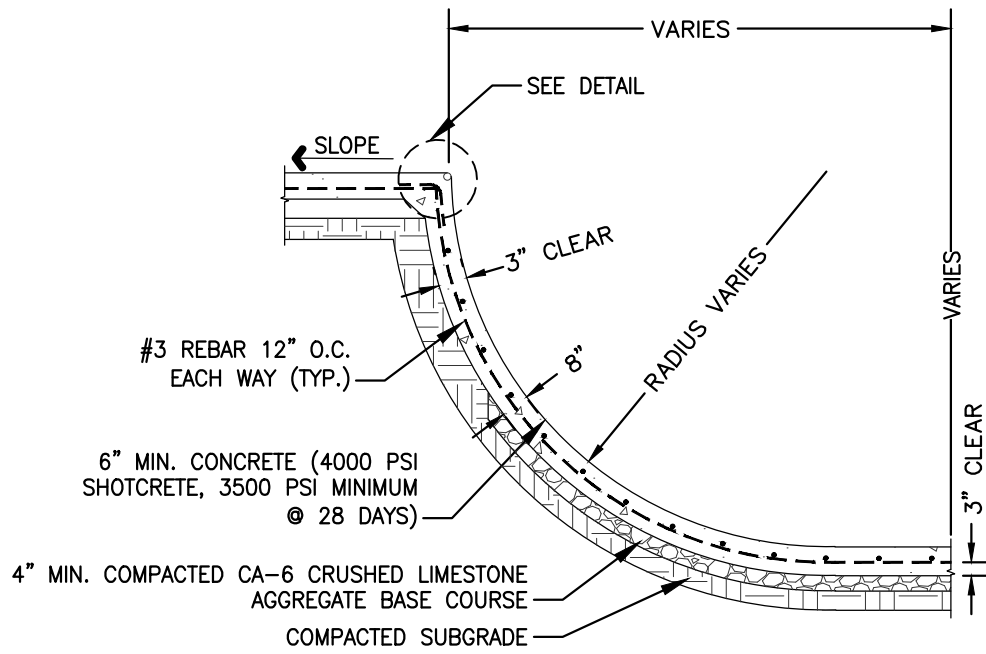
JSD PROJECT NO: 19-9431

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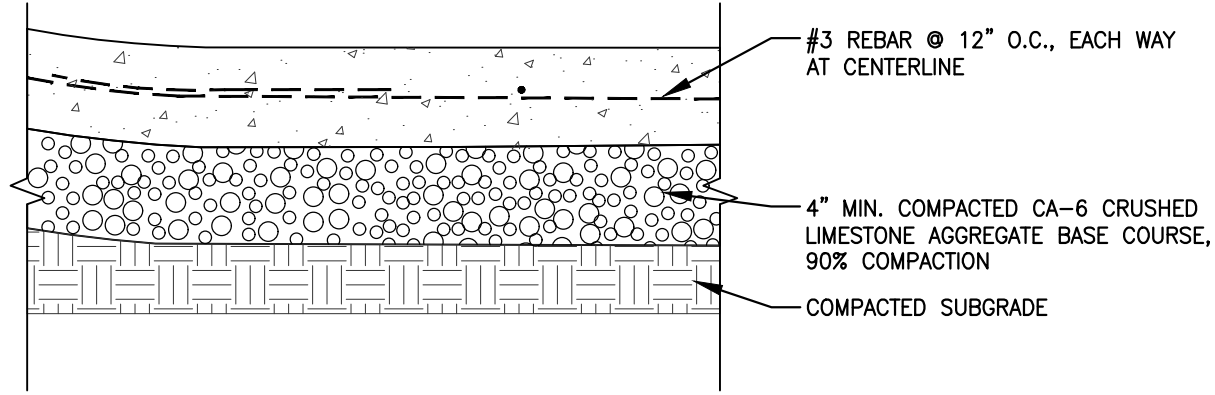
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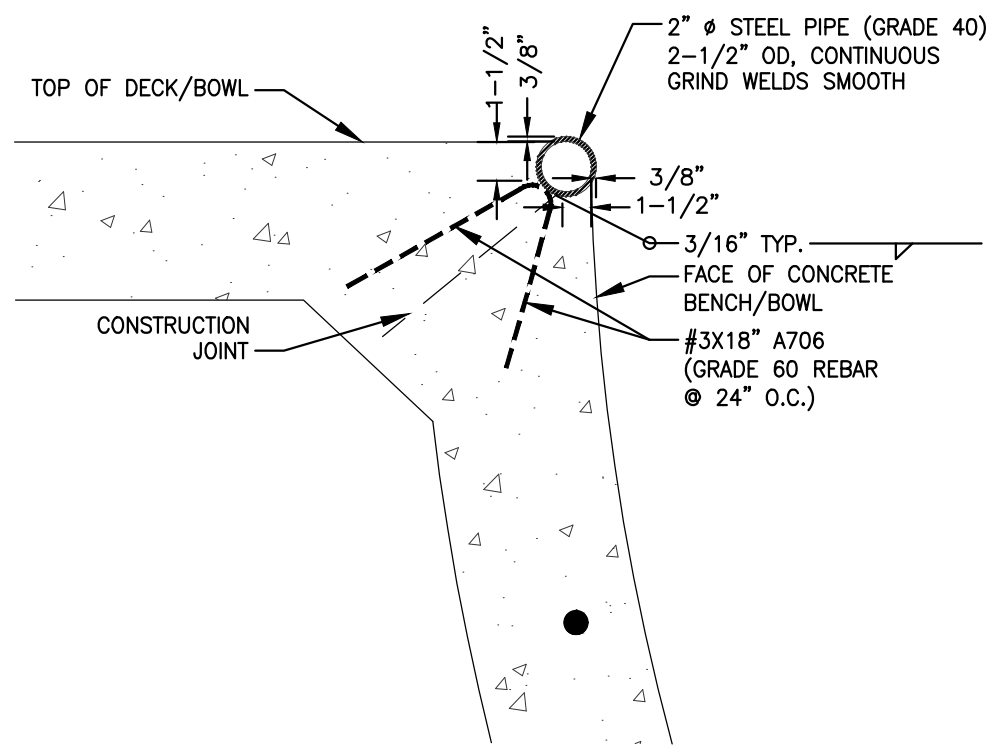
1. AT DEPTHS GREATER THAN 5'-0" THICKEN SHOPCRETE TO 8" AND CONTINUE 8" THICKNESS TO 4'-0" PAST CURVATURE (TYPICAL).
2. REFER TO DIMENSION/REFERENCE PLAN FOR HEIGHTS.
3. DETAIL FOR CONSTRUCTION EDGES, STEEL AND SURFACING. FOR HEIGHT, LENGTH AND RADIUS DIMENSIONS REFER TO SECTIONS SHEETS L2, L3 AND L6.



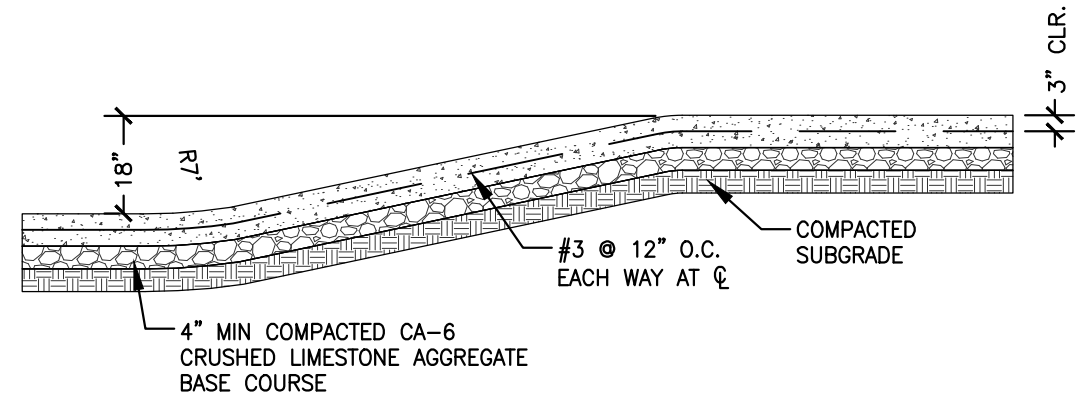
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SD6.2
TRANSITION RAMP (TYP.)
NTS



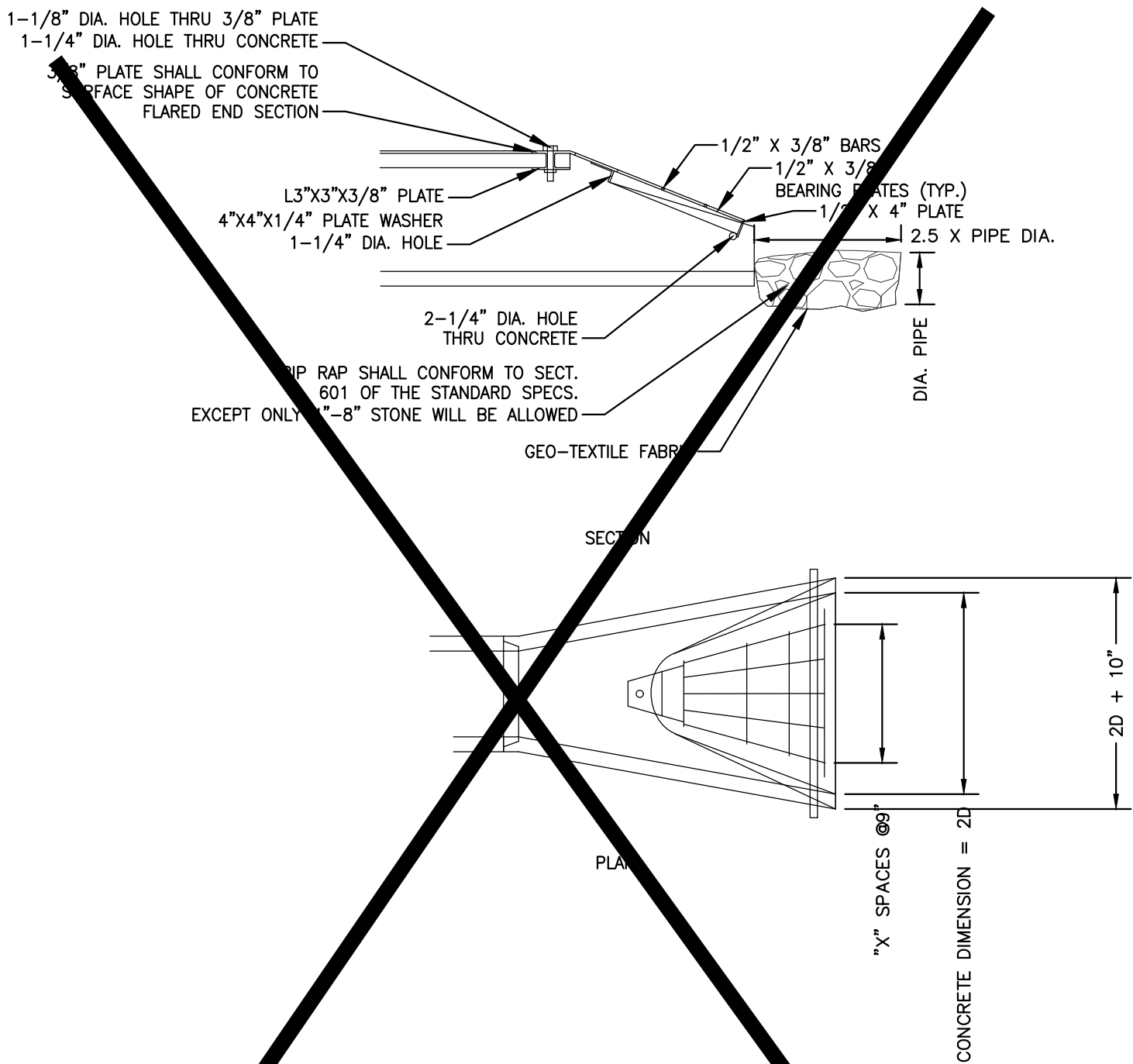
2
SD6.2
TOE CONNECTION
NTS



3
SD6.2
STEEL COPING
NTS



4
SD6.2
CONCRETE BANK
NTS



5
SD6.2
INTENTIONALLY OMITTED
NTS

NOTES:

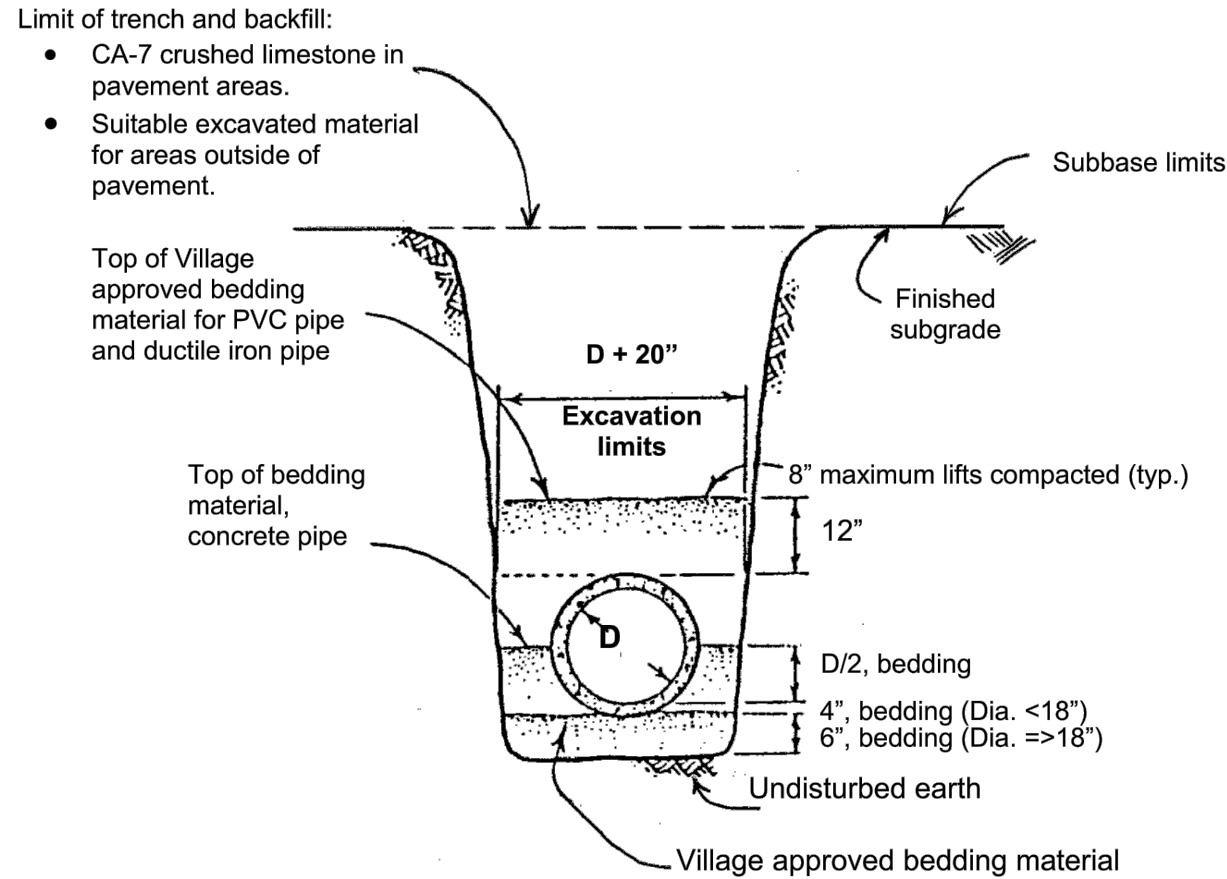
1. GRATINGS SHALL BE REQUIRED FOR ALL FLARED END SECTIONS LARGER THAN 12 INCHES, EXCEPT WHEN INSTALLED AS PART OF A DRIVEWAY CULVERT.
2. GRATING SHALL CONFORM TO THE FOLLOWING I.D.O.T. STANDARD DRAWINGS:
2364-3 24,30, AND 36 INCH
2379-2 42,48, AND 54 INCH
3. ALL GATE MATERIALS SHALL BE GALVANIZED STEEL.

FOR SIZES NOT LISTED, THE STANDARD DRAWINGS SHALL BE INTERPOLATED AND MODIFIED AS NECESSARY.

Appendix B – Development Regulations

VILLAGE OF VERNON HILLS
EXHIBIT NO. 1

TYPICAL TRENCH BACKFILL AND STANDARD BEDDING



Notes:

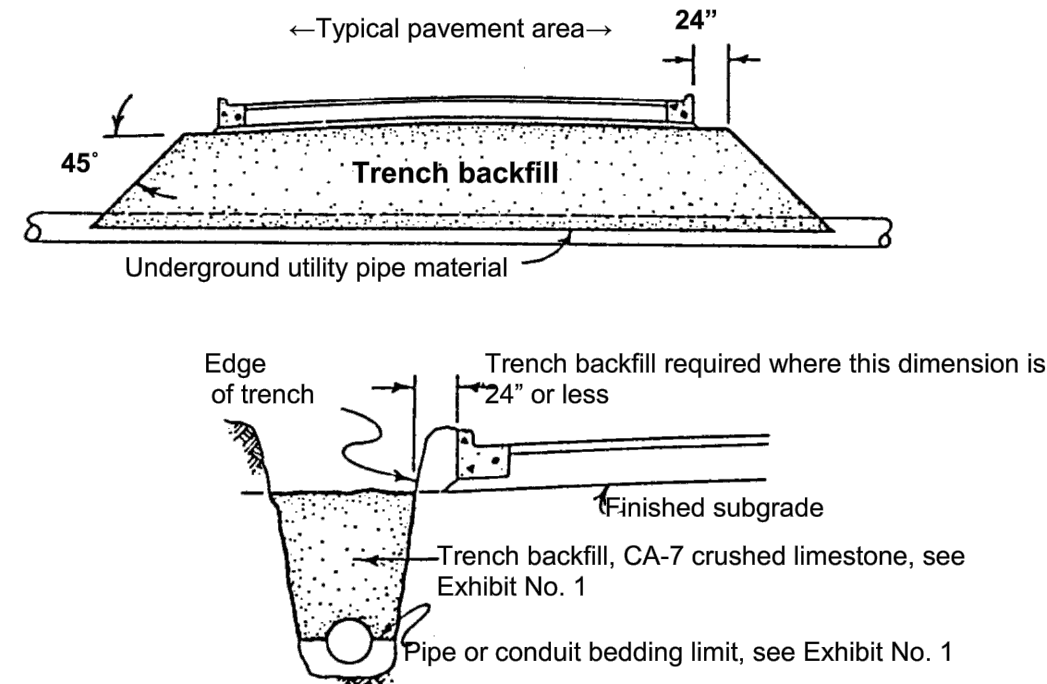
1. Village approved bedding material for pipe shall be well compacted CA-7 crushed limestone aggregate.
2. Limits of trench width shall meet the requirements of the "Standard Specifications for Road and Bridge Construction, IDOT, current edition.
3. Voids left by sheeting shall be filled with standard bedding materials as the sheeting is removed.
4. Once final grading has been completed, all trenches within pavement shall be exposed to the top of the aggregate trenches. Additional trench and backfill shall be added, if necessary, before any subbase placement. Clay caps over trenches shall not be allowed.
5. Trench and backfill material for trenches not within the limits of pavement or two (2) foot outside the limit of pavement, may be backfilled with suitable excavated material from the trench. Frozen material shall not be considered acceptable. Each lift shall be compacted by mechanical means to the satisfaction of the Engineer.
6. Open holes shall be protected at all times.

CDB:93

Appendix B – Development Regulations

VILLAGE OF VERNON HILLS
EXHIBIT NO. 2

TRENCH BACKFILL



Notes:

1. Trench backfill shall conform to the provision of compaction of the "Standard Specifications for Road and Bridge Construction", latest edition, IDOT.
2. For instances where open cutting of an existing road for utility repairs has been allowed by the Village Engineer, the entire trench shall be backfilled with a controlled low-strength material in accordance with IDOT Section 593 for CLSM. Only one lift shall be allowed for backfilling.
3. All trench backfill areas shall be exposed after final subgrade has been approved within all pavement areas, including sidewalks and driveways. Additional aggregate trench backfill shall be added to bring the trenches up to final subgrade.

CDB:94

6
SD6.2
STORM SEWER TRENCH: PAVED AREAS
NTS



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Design/Drawn: SCD/LMV
Approved: LMV

SHEET TITLE:

DETAILS

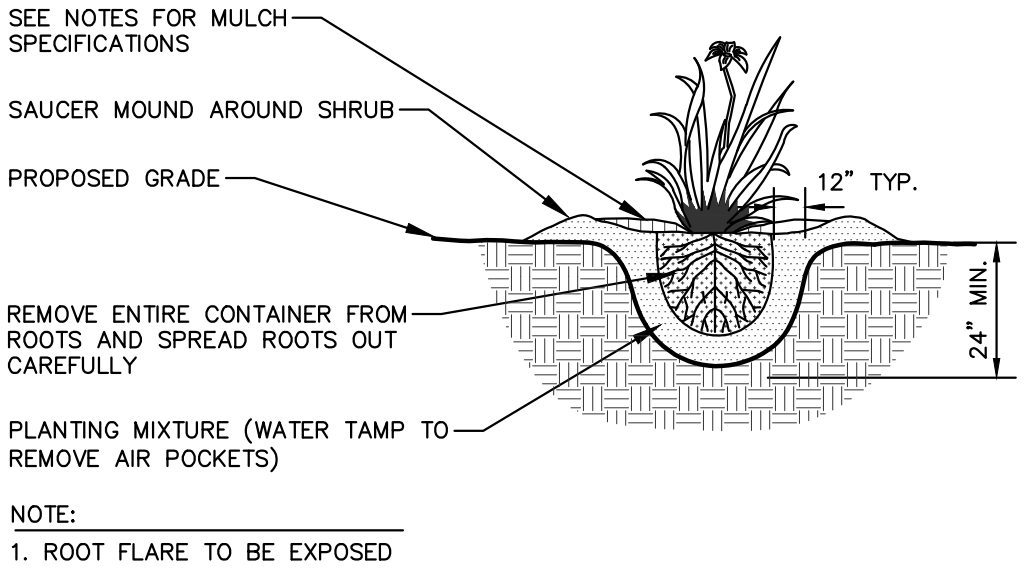
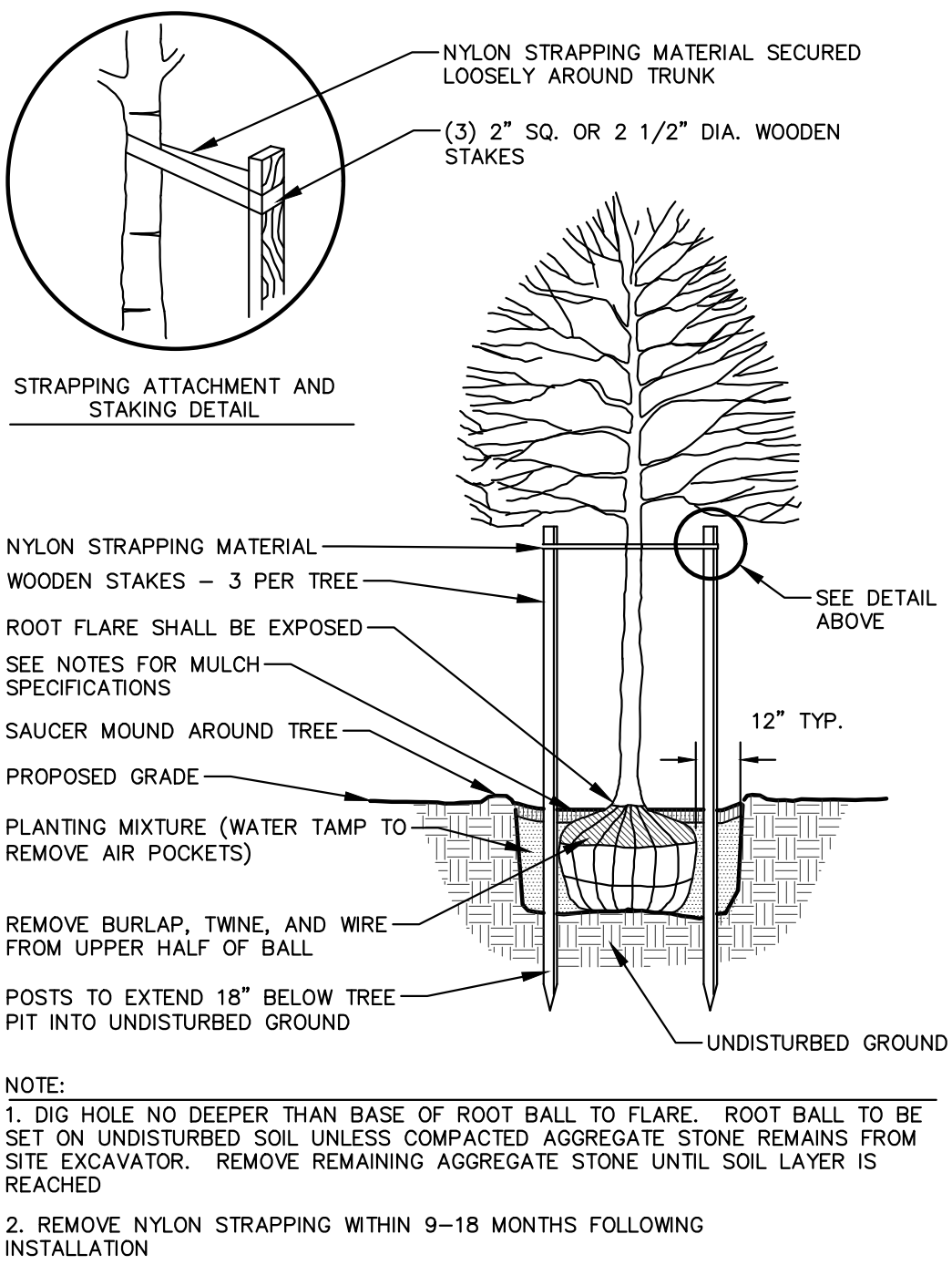
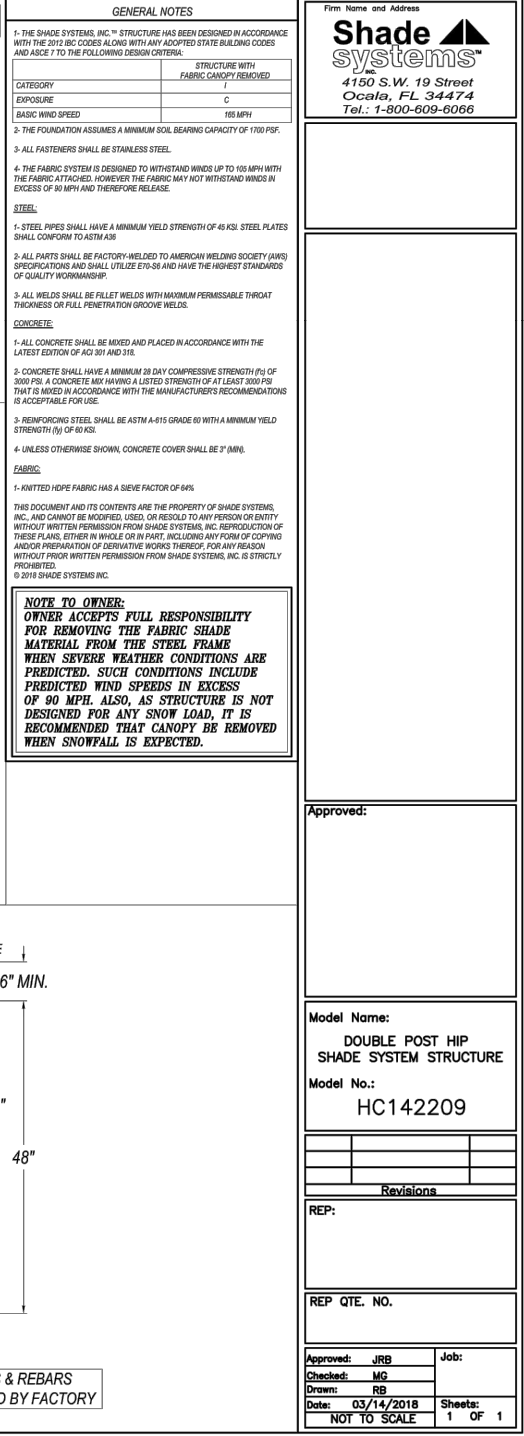
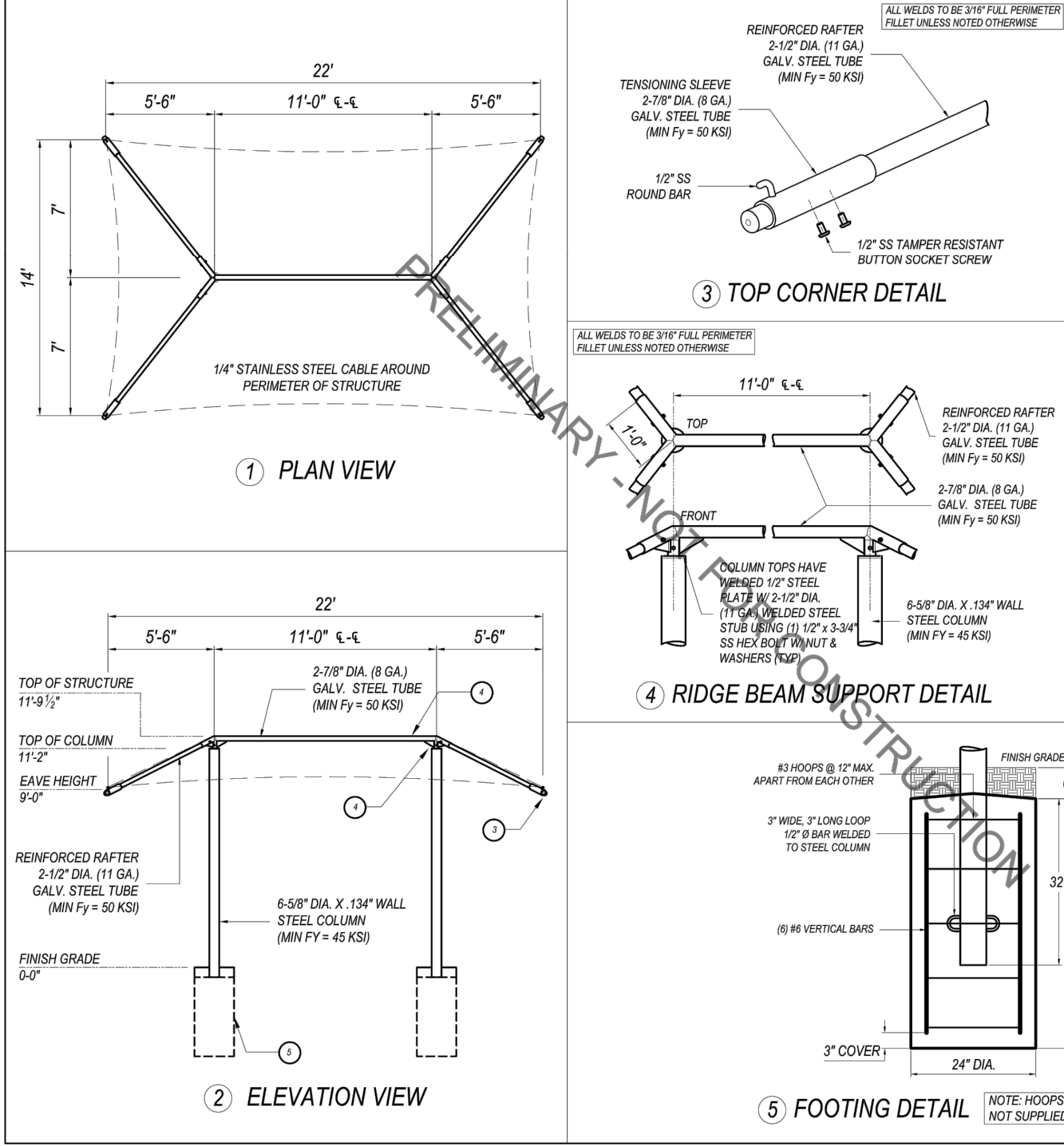
SHEET NUMBER:

SD6.2

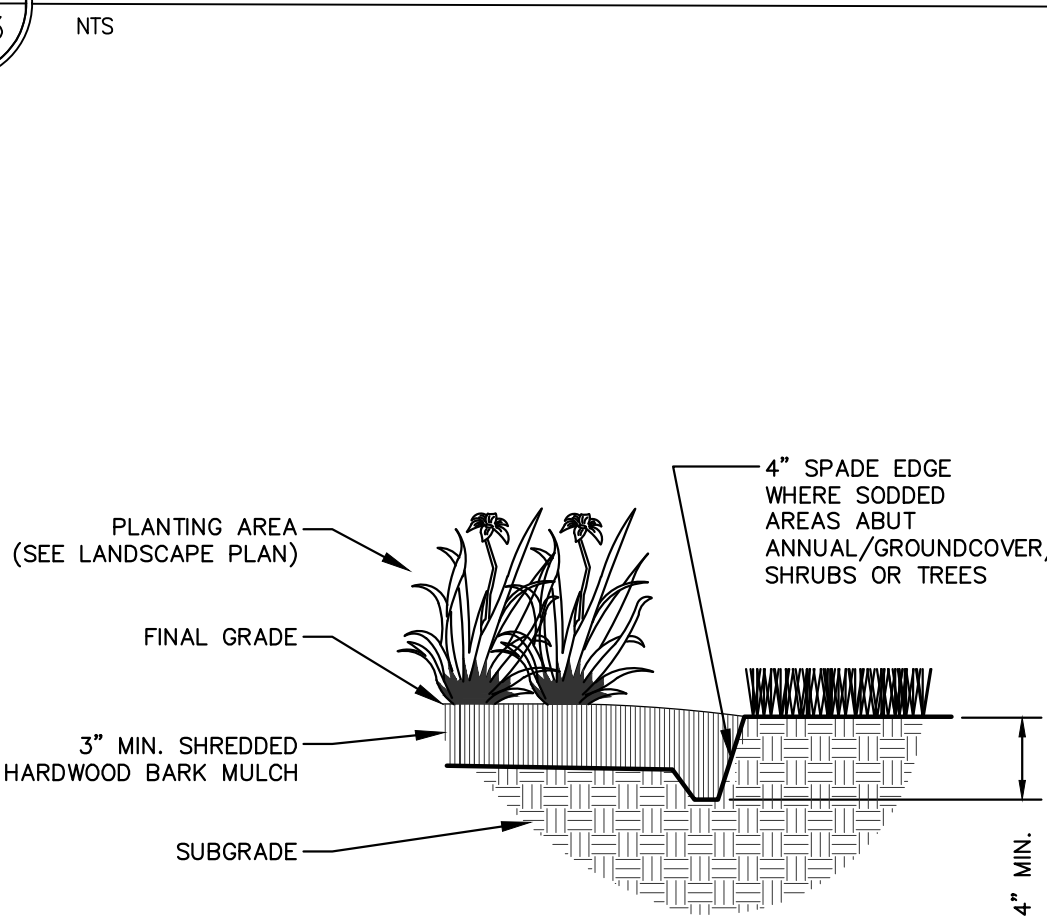
JSD PROJECT NO: 19-9431

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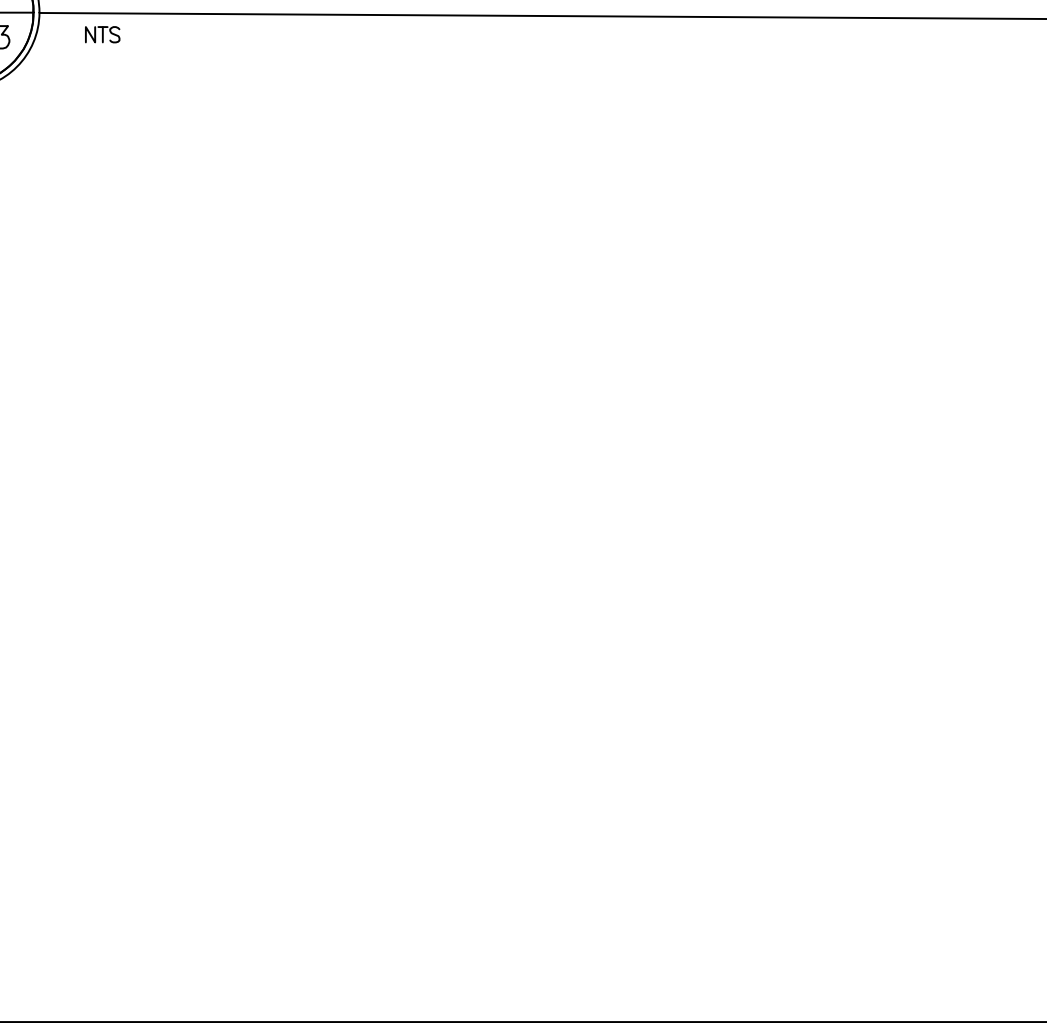
IMPORTANT: The footing sizes provided are estimates only. Depending on local conditions, actual engineered concrete footings may be substantially larger than estimates provided herein. Shade Systems is not responsible for actual engineered footing sizes differing from the estimates given or for any additional concrete installation costs which may be incurred by you as a result thereof.



14'x22' DOUBLE POST HIP SHADE SYSTEM



NATURAL SPADE EDGE



DECIDUOUS TREE PLANTING



PERENNIAL/ORN. GRASS PLANTING



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CHICAGO REGIONAL OFFICE
1400 EAST TOWHY AVENUE, SUITE 215
DES PLAINES, IL 60018
P. 312.644.3379

CLIENT:
VERNON HILLS
PARK DISTRICT

CLIENT ADDRESS:
635 NORTH ASPEN DRIVE
VERNON HILLS, IL 60061

PROJECT:
SKATE PARK
DEVELOPMENT

PROJECT LOCATION:
VERNON HILLS, ILLINOIS
LAKE COUNTY

PLAN MODIFICATIONS:		
#	Date:	Description:
1	12.17.19	Permit Set
2	12.23.19	Permit Resubmittal
3	01.06.20	Permit Resubmittal/Bid Set
4		
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15		

Design/Drawn: SCD/LMV
Approved: LMV

SHEET TITLE:
DETAILS

SHEET NUMBER:
SD6.3

JSD PROJECT NO: 19-9431

File: G:\2019\199431\DWG\Landscape Architecture\199431 L1.0 Landscape Plan.dwg Layout: L1.0 SEED RESTORATION PLAN User: Viewrow Plotted: Dec 31, 2019 - 10:39am Xrefs:



LEGEND

SEED RESTORATION: LEGEND SUNNY BLEND BY CONSERV FS

LANDSCAPE PLAN NOTES:

1. ALL QUANTITIES ARE FOR REFERENCE. CONTRACTOR TO VERIFY QUANTITIES WITH PLANS PRIOR TO BIDDING. SEE ALSO ALTERNATE BID ITEMS #1 AND #2.
2. FINE GRADE AND SEED DISTURBED AREA, INCLUDE EROSION CONTROL BLANKET. SEED LIMIT IS APPROXIMATE. SEED TO LIMITS OF GRADING AND DISTURBANCE. CONTRACTOR RESPONSIBLE FOR RESTORATION OF ANY UNAUTHORIZED DISTURBANCE OUTSIDE OF DESIGNATED CONSTRUCTION AREA. PARK DISTRICT TO SUPPLY SEED. SEE ALSO ALTERNATE BID ITEM #1.
3. PLANTING BEDS SHALL HAVE A 3" CULTIVATED SPADE EDGE. CURVED BEDLINES ARE TO BE SMOOTH AND CONTINUOUS AND NOT SEGMENTED. SEE DETAIL.
4. SEE ALSO SPECIFICATIONS FOR PLANTING REQUIREMENTS AND STANDARDS.
5. IDOT SEED MIX IS NOT TO BE USED ON THE SITE.

CONTROL POINTS AND BENCHMARKS (NAVD 88)

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-300	2,028,779.26	1,082,808.53	692.43	CUT X
CP-301	2,028,989.53	1,083,031.19	698.32	CUT X
CP-302	2,028,880.87	1,083,022.21	699.38	M.A.G. NAIL

* SEE ALSO LANDSCAPE PLAN GENERAL NOTES SHEET SD1.0



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Design/Drawn: SCD/LMV
Approved: LMV

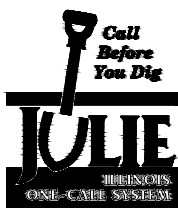
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SEED RESTORATION

SHEET NUMBER:

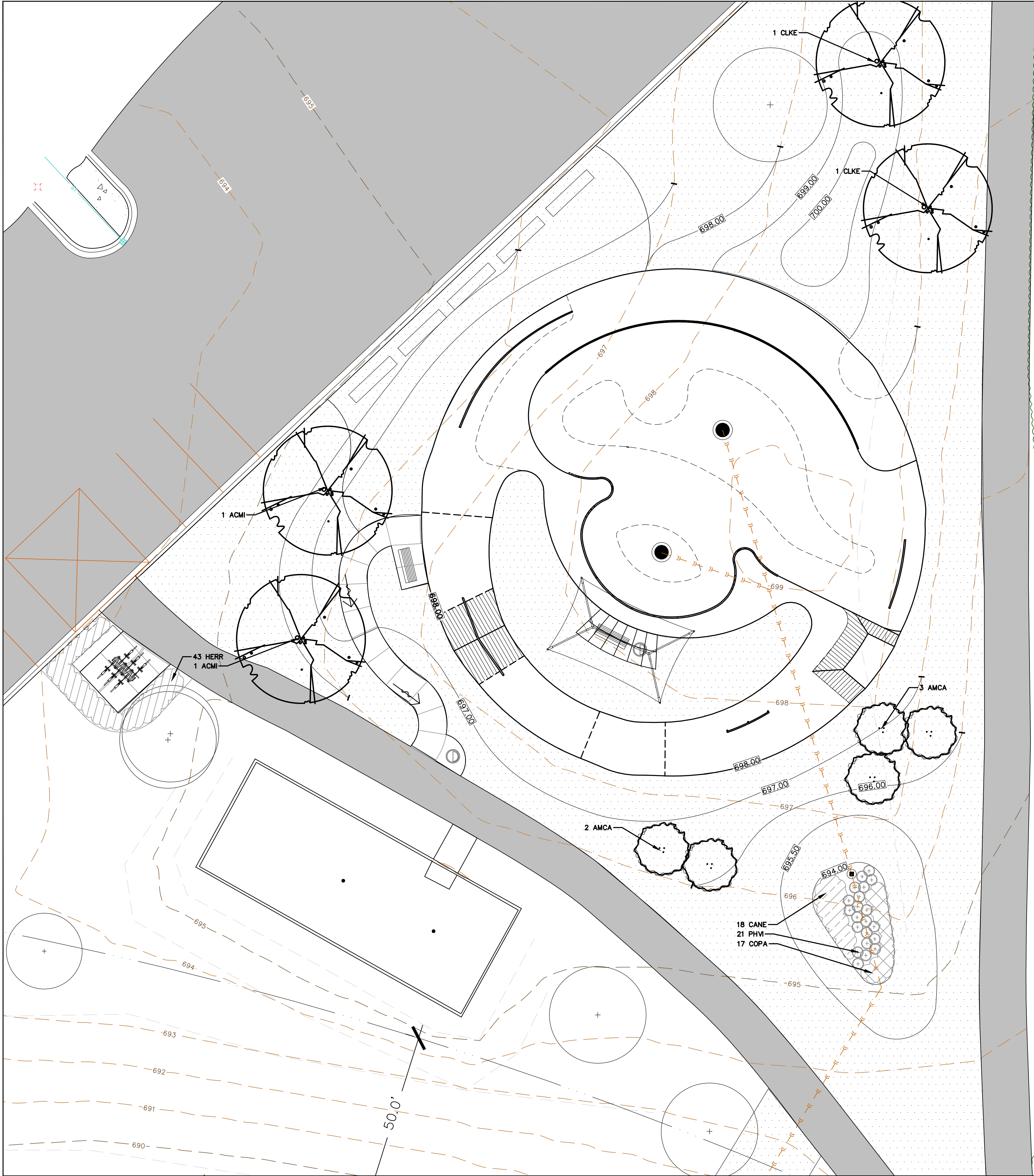
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JSD PROJECT NO: 19-9431



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File: G:\2019\199431\DWG\Landscape Architecture\199431 L1.0 Landscape Plan.dwg Layout: L1.1 PLANTING PLAN User: Wierow Plotted: Dec 31, 2019 - 10:39am Xref's:



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CUMULATIVE PLANT SCHEDULE

Code	Quantity	Size	Scientific Name	Common Name
Deciduous Trees				
ACMI	2	3" bb	Acer miyabei	Miyabe Maple
CLKE	2	3" bb	Cladratis kentuckea	American Yellowwood
Ornamental Trees				
AMCA	5	6" bb	Amelanchier canadensis	Shadblow Serviceberry
Perennials				
HERR	43	#01 (gal)	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily
Native Basin				
CANE	18	#01 (gal)	Calamintha nepeta ssp. nepeta	Lesser Calamint
COPA	17	#01 (gal)	Coreopsis palmata	Prairie Coreopsis
PHVI	21	#01 (gal)	Physostegia virginiana	Obedient Plant

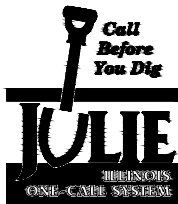
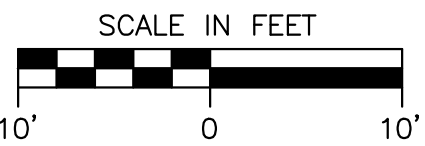
1 PLANTING PLAN

L1.1

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Design/Drawn: SCD/LMV
Approved: LMV

SHEET TITLE:

PLANTING PLAN

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