LASCHEN PARK

VERNON HILLS PARK DISTRICT VERNON HILLS, ILLINOIS

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VERNON HILLS
PARK DISTRICT



635 NORTH ASPEN DRIVE VERNON HILLS, IL 60061

PROJECT:

LASCHEN PARK

PROJECT LOCATION:
VERNON HILLS, IL
LAKE COUNTY

PLAN	MODIFICATIONS

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#_	Date:	Description:
1_	02/23/21	75% CONSTRUCTION DOCS
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Call Before You Dig ULIE IMPRINCENS SASSESSIONS

GENERAL NOTES:

- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCY CODES, STANDARDS AND SPECIFICATIONS.
- 2. THE PARK DISTRICT WILL OBTAIN ALL NECESSARY SITE PERMITS FROM THE APPLICABLE GOVERNING AGENCIES.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SAFETY AND ALL WAYS, MEANS AND METHODS OF CONSTRUCTION. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- 4. UNLESS OTHERWISE NOTED ON THE PLANS, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT A MINIMUM OF FORTY—EIGHT (48) HOURS PRIOR TO COMMENCING CONSTRUCTION OPERATIONS AND TO SCHEDULE ANY REQUIRED SITE INSPECTIONS.
- 5. CONTRACTOR SHALL SCHEDULE A UTILITY LOCATING SERVICE AND/OR NOTIFY ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE LOCAL MUNICIPALITY AND ANY PRIVATE UTILITIES TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER TO AVOID POTENTIAL CONFLICTS. IT IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED ON THE PLANS OR NOT AND TO HAVE THESE UTILITIES STAKED PRIOR TO CONSTRUCTION. ANY NECESSARY RELOCATIONS OR REMOVALS OF EXISTING UTILITY LINES SHALL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER / LANDSCAPE ARCHITECT.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER / LANDSCAPE ARCHITECT.
- 7. ALL EASEMENTS FOR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS—OF—WAY ARE SHOWN ON THE PLANS PREPARED BY THE SURVEYOR ACCORDING TO INFORMATION AVAILABLE FROM PUBLIC RECORDS OR VISIBLE FIELD MARKINGS. THE CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT SO THE CONFLICT MAY BE RESOLVED.
- 8. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, COORDINATES AND ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES SO THE CONFLICT MAY BE RESOLVED.
- 9. ALL PROPERTY MARKERS AND SURVEY REFERENCE MARKERS SHALL BE CAREFULLY PRESERVED DURING CONSTRUCTION UNTIL THEIR LOCATION HAS BEEN WITNESSED OR OTHERWISE TIED IN BY AN AUTHORIZED AGENT OR PROFESSIONALLY LICENSED SUBVEYOR
- 10. ALL AREAS DISTURBED BY THE GENERAL CONTRACTOR OR SUB-CONTRACTORS SHALL BE RETURNED TO THE ORIGINAL CONDITION OR BETTER, EXCEPT WHERE PROPOSED CONSTRUCTION IS INDICATED ON THE PLANS.
- 11. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED
- 12. CONTRACTOR SHALL KEEP THE PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, CLEAN PAVEMENTS AT THE END OF EACH WORKING DAY. MUD AND DEBRIS LEFT ON THE STREETS NOT CLEANED AND POWER-WASHED BY THE CONTRACTOR WILL BE CLEANED BY OTHERS AND BACK-CHARGED TO THE CONTRACTOR.
- 13. ALL CONSTRUCTION STAKING, SCHEDULING AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 14. CONSTRUCTION GATE TO BE LOCKED AND THE SITE SECURED AT THE CLOSE OF EACH DAY. ALL EQUIPMENT REMAINING ON SITE SHOULD BE LOCKED AND KEYS REMOVED. ANYTHING LEFT ON SITE IS AT THE RISK OF THE CONTRACTOR.
- 15. THE LANDSCAPE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. THE LANDSCAPE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE THE CONTRACTORS, SUBCONTRACTORS, OR THEIR AGENTS. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL RULES IS AND SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 16. ALL WORK SHALL COMPLY WITH THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT FOR PHYSICALLY HANDICAPPED PEOPLE.
- 17. EARTHWORK AND PAVING SPECIFICATIONS: THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION: LATEST EDITION, " AND ALL ADDENDA THERETO, SHALL GOVERN THE EARTHWORK AND PAVING WORK UNDER THIS CONTRACT, EXCEPT AS MODIFIED BY THESE SPECIFICATIONS.
- 18. EACH CONTRACTOR SHALL DO ALL NECESSARY CUTTING, FITTING, AND PATCHING OF THEIR OWN WORK. THEY SHALL ALSO DO ALL REMOVING AND ALTERING OF THE WORK AS REQUIRED TO MAKE SATISFACTORY CONNECTIONS AND INSTALLATIONS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RESTORATION AND FINISHING WORK; RESTORE TO MATCH ADJOINING CONSTRUCTION AND FINISHES.
- 19. ALL WORK SHALL BE ACCOMPLISHED IN A FIRST-CLASS MANNER, COMPLETE AND READY FOR THE USE INTENDED. CONTRACTORS SHALL BE RESPONSIBLE FOR FAULTY MATERIALS AND WORKMANSHIP AND SHALL REMEDY ANY DEFECTS THERETO AND SHALL PAY FOR ANY DAMAGES TO OTHER WORK RESULTING THEREFROM, WHICH SHALL APPEAR FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE WORK.
- 20. PARKING LOT ACCESS DRIVE TO REMAIN OPEN TO VEHICULAR AND PEDESTRIAN TRAFFIC AND FREE OF DEBRIS AT ALL TIMES USE NECESSARY TRAFFIC CONTROL DEVICES WHEN REQUIRED. TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE APPLICABLE STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SHALL BE INSTALLED AND PROVIDED WHENEVER CONSTRUCTION FOR UTILITIES ARE WITHIN STREET AREAS. APPLICABLE ORDINANCES OF THE MUNICIPALITY, COUNTY OR STATE SHALL ALSO GOVERN THE TRAFFIC CONTROL REQUIREMENTS.
- 21. CONTRACTOR AND EMPLOYEES VEHICLES SHALL BE LIMITED TO PARKING ALONG WESTSIDE OF THE PARKING LOT. DAMAGE/RUTS TO THE EXISTING ROADWAY PAVEMENT TO BE REPAIRED AT NO ADDITIONAL EXPENSE TO THE OWNER / LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR ANY FEES REQUIRED FOR REPAIR.

DEMOLITION PLAN GENERAL NOTES:

- THE CONTRACTOR SHALL PROVIDE MIN. 6' CHAIN LINK SAFETY FENCE FOR SITE PROTECTION AND/OR OTHER BARRIERS NECESSARY TO KEEP PARK USERS FROM ENTERING WORK AREAS. SEE EXISTING CONDITIONS/DEMOLITION PLAN FOR APPROXIMATE LOCATION OF SAFETY FENCE.
- 2. THE CONSTRUCTION FENCE LOCATION COINCIDES WITH THE LIMITS OF CONSTRUCTION. THIS FENCE MAY BE TAKEN DOWN PERIODICALLY TO AID IN CERTAIN CONSTRUCTION TASKS, HOWEVER FENCING/BARRIERS MUST BE RE-ERECTED AT THE END OF EACH WORKING DAY
- 3. ALL ITEMS DESIGNATED FOR REMOVAL SHALL BE DISPOSED OF OFF SITE IN A LEGAL AND ACCEPTABLE MANNER AND AS OTHERWISE SPECIFIED IN THE DRAWINGS OR BY THE LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR ANY FEES REQUIRED FOR DISPOSAL.
- 4. SPECIAL CARE SHALL BE TAKEN TO CHECK THE SITE PERIODICALLY AS NOT TO LEAVE OPEN EXCAVATIONS OR PROTRUDING OBJECTS WHICH CAN BE HARMFUL TO PARK USERS
- 5. ALL AREAS SHOWN TO BE REGRADED SHALL HAVE ALL TURF AND TOPSOIL REMOVED (EXCEPT WITHIN DRIPLINE OF TREES). SEE PLAN.
- 6. REMOVED PAVEMENTS, SIDEWALKS, CURBS, TREES AND STUMPS SHALL BE DISPOSED OF LEGALLY OFFSITE AT LOCATIONS DETERMINED BY THE CONTRACTOR.

TREE PRESERVATION NOTES:

DURING CONSTRUCTION TAKE ALL REASONABLE STEPS NECESSARY TO PREVENT THE DESTRUCTION OR DAMAGE TO TREES (OTHER THAN THOSE SPECIFIED TO BE REMOVED). INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

- 1. NO CONSTRUCTION ACTIVITY, MOVEMENT AND/OR PLACEMENT OF EQUIPMENT OR MATERIAL OR SPOILS STORAGE SHALL BE PERMITTED OUTSIDE THE CONSTRUCTION LIMITS OR WITHIN THE TREE PRESERVATION AREA. NO EXCESS SOIL, ADDITIONAL FILL, LIQUIDS OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE ROOT ZONE OF ANY TREE THAT IS REQUIRED TO REMAIN.
- 2. CRUSHED LIMESTONE, HYDROCARBONS AND OTHER MATERIALS DETRIMENTAL TO TREES SHALL NOT BE DUMPED WITHIN THE ROOT ZONE OF ANY TREE, NOR AT ANY HIGHER LOCATION WHERE DRAINAGE TOWARD THE TREE COULD CONCEIVABLY AFFECT THE HEALTH OF THE TREE.
- 3. APPROPRIATE PROTECTIVE FENCING SHALL BE TEMPORARILY INSTALLED FOR PROTECTION OF REMAINING TREES. APPROPRIATE PROTECTIVE FENCING SHALL INCLUDE WOODEN SNOW FENCE OR VINYL CONSTRUCTION FENCE.
- 4. ALL REQUIRED PROTECTIVE FENCING OR OTHER PHYSICAL BARRIER MUST BE IN PLACE AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION. THE FENCING MUST REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PERIOD TO PREVENT THE IMPINGEMENT OF CONSTRUCTION VEHICLES, MATERIALS, SPOILS AND EQUIPMENT INTO OR UPON THE TREE PRESERVATION AREA.
- 5. NO ATTACHMENTS, FENCES OR WIRES, OTHER THAN THOSE APPROVED FOR BRACING, GUYING OR WRAPPING, SHALL BE ATTACHED TO TREES DURING THE CONSTRUCTION PERIOD
- 6. UNLESS OTHERWISE INDICATED ON THE PLANS, NO SOIL IS TO BE REMOVED FROM WITHIN THE ROOT ZONE OF ANY TREE THAT IS TO REMAIN.
- 7. WHERE CONSTRUCTION TAKES PLACE WITHIN THE CRITICAL ROOT ZONE OF ONE SIDE OF A TREE PROPOSED FOR PRESERVATION, PROTECTIVE FENCING SHALL BE EXTENDED BEYOND THE CRITICAL ROOT ZONE OF THE OTHER SIDE OF THE TREE TO MAXIMIZE PROTECTION OF THE ROOT SYSTEM.
- 8. TREES WHICH ARE PRESERVED, BUT WILL BE AFFECTED DURING THE CONSTRUCTION PROCESS SHALL HAVE THE CROWNS AND ROOTS PRUNED BY A CERTIFIED ARBORIST ACCORDING TO THE TREE PRUNING STANDARDS SET BY ANSI 2100.
- 9. IF, IN THE OPINION OF THE LANDSCAPE ARCHITECT, THE NECESSARY PRECAUTIONS AS SPECIFIED WERE NOT UNDERTAKEN BEFORE CONSTRUCTION COMMENCED, OR ARE NOT MAINTAINED AT ANY TIME DURING CONSTRUCTION, A STOP WORK ORDER SHALL BE ISSUED UNTIL SUCH TIME AS THE CONTRACTOR COMPLIES WITH THE PRECAUTIONS HEREIN

CONSTRUCTION PLAN GENERAL NOTES:

- 1. THE WORK INVOLVED IN CONNECTING PROPOSED STORM SEWERS TO EXISTING MANHOLES OR CONSTRUCTING PROPOSED MANHOLES OVER EXISTING STORM SEWERS OR RECONNECTING EXISTING STORM LATERALS TO PROPOSED STORM SEWERS SHALL BE PAID FOR AT THE CONTRACT BID PRICE FOR THE ITEM BEING CONSTRUCTED.
- 2. SAWING OF REMOVAL ITEMS AS NOTED OR IMPLIED ON THE PLANS SPECIFIED AS REQUIRED BY THE LANDSCAPE ARCHITECT SHALL BE CONSIDERED TO BE INCIDENTAL TO THE COST OF THE ITEM BEING REMOVED AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- 3. EXISTING TOPOGRAPHY AND SPOT ELEVATIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT AS SOON AS THEY ARE DISCOVERED. PROPOSED GROUND ELEVATIONS MAY BE REVISED TO MEET FIELD CONDITIONS.
- 4. THE CONTRACTOR SHALL RECEIVE NO ADDITIONAL COMPENSATION FOR CONSTRUCTION STAGING NECESSARY TO ACCOMMODATE UTILITY RELOCATION OR ADJUSTMENT AND/OR FOR DELAYS CAUSED BY UTILITY RELOCATION OR ADJUSTMENT.
- 5. DEBRIS DEPOSITED IN THE FLOW OF ANY STRUCTURES SHALL BE REMOVED AT THE CLOSE OF EACH WORKING DAY. AT THE CLOSE OF CONSTRUCTION OPERATIONS, ALL STRUCTURES SHALL BE FREE FROM DIRT AND DEBRIS. THIS WORK WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCIDENTAL TO THE CONTRACT.
- 6. THE CONTRACTOR SHALL ADHERE TO LIMITS OF RESTORATION SHOWN. WORK OUTSIDE THESE LIMITS WILL NOT BE PAID FOR UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- 7. CONSTRUCTION STAKING FOR THE PROJECT SHALL BE PERFORMED BY THE CONTRACTOR AND CONSIDERED INCIDENTAL TO THE CONTRACT.
- 8. ALL FRAMES AND GRATES DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- 9. NO CONCRETE SHALL BE INSTALLED UNTIL THE FORMS HAVE BEEN INSPECTED FOR LINE, GRADE AND SUBGRADE CONDITIONS BY THE LANDSCAPE ARCHITECT. IT IS REQUIRED THAT THE INSPECTIONS BE ARRANGED FOR AT LEAST 24 HOURS IN ADVANCE OF THE CONCRETE PLACEMENT.
- 10. ELEVATIONS SHOWN ARE ILLINOIS EASTERN ZONE DATUM, SEE SURVEY.
- 11. ELECTRICAL TRENCHES AND SUBSEQUENT GRAVEL PAVEMENT AND TURF REPAIR ARE NOT SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INCLUDE SUCH EXCAVATION, BACKFILL, AND COMPACTION AND GRAVEL PAVEMENT RESTORATION IN HIS PRICE FOR ELECTRICAL WORK.
- 12. THE ELEVATIONS SHOWN ON THE PLANS ARE FINISHED GRADES OF PROPOSED PAVEMENT, WALKS OR TURF UNLESS OTHERWISE INDICATED.
- 13. A SMOOTH TRANSITION SHALL BE EFFECTED BETWEEN NEW AND EXISTING CONSTRUCTION, DIFFERENT PHASES OF CONSTRUCTION, AND TEMPORARY
- 14. EXISTING SITE UTILITIES, SUCH AS VALVES, SANITARY AND STORM CASTINGS, AND HYDRANTS, ETC. SHALL BE ADJUSTED TO THE ELEVATION OF THE FINISHED GROUND SURFACE. THE CONTRACTOR SHALL EXERCISE CARE IN GRADING AND ANY DAMAGE SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.
- 15. ALL TURF AND PLANTING AREAS SHALL DRAIN COMPLETELY AND NOT POND NOR PUDDLE. PROVIDE 6" OF BLACK TOPSOIL IN ALL AREAS WHICH HAVE BEEN REGRADED OR DISTRIBUTED DURING CONSTRUCTION.
- 16. THE LANDSCAPE ARCHITECT SHALL REVIEW ALL HARDSCAPE SURFACE PAVEMENT ELEVATIONS PRIOR TO CONSTRUCTION. GIVE LANDSCAPE ARCHITECT 24 HOURS NOTICE. ALL HARD SURFACE PAVEMENTS SHALL DRAIN COMPLETELY AT 1.0% MIN. SLOPE (UNLESS OTHERWISE SPECIFIED).
- 17. THE CONTRACTOR SHALL EXCAVATE, BACKFILL, COMPACT, GRADE AND SHAPE THE SUBGRADE AS DEPICTED IN THE PLAN. DO NOT EXPORT SUBSOIL, BUT REVISE ON SITE WHEN REQUIRED, REVIEW LOCATIONS WITH THE LANDSCAPE ARCHITECT.
- 18. WHEN EXCAVATING, BACKFILLING, OR GRADING BENEATH TREE DRIPLINE, REVIEW ALL PROPOSED WORK WITH THE LANDSCAPE ARCHITECT.
- 19. FINISHED GRADE ELEVATIONS IN TURF AND LANDSCAPED AREAS SHALL BE APPROXIMATELY 2" ABOVE ADJACENT PAVEMENTS, CURBS, ETC. TO ALLOW FOR SETTLEMENT.
- 20. EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, CONSTRUCTION OF EMBANKMENTS, NON-STRUCTURAL FILLS, FINAL SHAPING AND TRIMMING TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE PLANS. ALL UNSUITABLE OR EXCESS MATERIAL SHALL BE DISPOSED OF LEGALLY OFFSITE OR AS DIRECTED BY THE PROJECT REPRESENTATIVE
- 21. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH AND PERFORMED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- 22. ON AND OFFSITE PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE, AND, IF DAMAGED, SHALL BE REPLACED IN—KIND PROMPTLY TO MEET STATE AND LOCAL STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
- 23. CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES THROUGH THE HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS ON THE PLANS. CONTRACTOR SHALL PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES AND AVOID ANY RIDGES AND/OR DEPRESSIONS.

- 24. SITE GRADING AND CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE AND MATCH EXISTING GRADES FLUSH.
- 25. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.

DIMENSION PLAN GENERAL NOTES:

- ALL FEATURES, CURBS, PAVEMENTS, AND WALLS SHALL BE LAID OUT AND PAINTED OR
 OTHERWISE MARKED IN THE FIELD BY THE CONTRACTOR AND VERIFIED BY THE
 LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- 2. ALL CONCRETE CURVES SHALL BE SMOOTH AND CONTINUOUS AS SHOWN IN THE DRAWINGS. SHARP BENDS OR KINKS IN THE PAVEMENT SHALL BE REMOVED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- 3. ALL CONCRETE SCORING SHALL FOLLOW A 5' MODULE OR AS SHOWN IN THE DRAWINGS. ALL EXPANSION JOINTS IN FLATWORK OR CURBS SHALL BE LOCATED AT 30' INTERVALS OR AS SHOWN. NO SAWCUT JOINTS WILL BE PERMITTED.
- 4. UNLESS OTHERWISE NOTED, ALL CURB AND PAVEMENT ANGLES SHALL BE CONSTRUCTED AT 90 DEGREE OR 45 DEGREE ANGLES.
- 5. ALL PROPOSED RADII DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

LANDSCAPE PLAN GENERAL NOTES:

- 1. THE LANDSCAPE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS AND DIRECTIONS OF THE SPECIFICATIONS.
- 2. THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL WORK FROM DAMAGE BY OTHER UNTIL THE WORK IS COMPLETE AND ACCEPTED BY THE PARK DISTRICT.
- 3. THE LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES.
- 4. EXACT LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE DETERMINED AND IDENTIFIED IN THE FIELD BY THE LANDSCAPE CONTRACTOR PRIOR TO COMMENCING
- 5. THE CONTRACTOR SHALL AVOID ALL EXISTING UTILITIES—UNDERGROUND AND OVERHEAD WHERE APPLICABLE. WHERE UNDERGROUND UTILITIES EXISTS, FIELD ADJUSTMENTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL.
- 6. ALL PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, 230 SOUTHERN BUILDING, WASHINGTON D.C. 20005 (ANSI
- 7. ALL PLANTS OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME NURSERY SOURCE.
- 8. THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATION OF ALL TREES AND OTHER LANDSCAPE FEATURES FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND SHALL CHECK FOR CORRECT SPACING BEFORE PLANTING.
- 9. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO THE LANDSCAPE ARCHITECT AS EACH PHASE OF WORK IS UNDERTAKEN PRIOR TO PLANTING OPERATIONS SO THAT THE LANDSCAPE ARCHITECT CAN BE PRESENT TO VERIFY PLANT SPECIES, SIZES AND OVERALL HEIGHT IMMEDIATELY PRIOR TO PLANTING. IF NOTICE IS NOT GIVEN BY THE CONTRACTOR, HE SHALL REMOVE/REPLACE PLANTS AS DIRECTED BY THE LANDSCAPE ARCHITECT AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 10. PLANT TREES AND SHRUBS AFTER THE FINAL GRADES HAVE BEEN ESTABLISHED AND PRIOR TO THE PLANTING OF LAWNS UNLESS OTHERWISE DIRECTED BY THE OWNER. IF PLANTING OF TREES OCCURS AFTER LAWN WORK, THE LANDSCAPE CONTRACTOR SHALL PROTECT LAWN AREAS AND PROMPTLY REPAIR DAMAGED LAWN RESULTING FROM PLANTING OPERATIONS.
- 11. ALL PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO THE NEW GRADE AS IT BORE TO THE GRADE AT THE NURSERY.
- 12. PRUNE BROKEN OR CROSS BRANCHING AT THE TIME OF PLANTING. DO NOT REMOVE CENTRAL LEADER.
- 13. FOR TREES PLANTED IN TURF AREAS, THE LANDSCAPE CONTRACTOR SHALL PROVIDE A 6'-0" DIA. SHREDDED HARDWOOD BARK MULCH RING (REMOVE EXISTING TURF) AT A MINIMUM OF 3" THICK (AFTER SETTLEMENT) WITH A CULTIVATED EDGE AT THE BASE OF EACH TREE. MULCH SHALL BE PLACED WITHIN TWO (2) DAYS AFTER TREES ARE PLANTED. MULCH SHALL BE CONSIDERED INCIDENTAL TO TREE PLANTINGS. INCLUDE TERRA-SORB HYDROGEL CRYSTALS WITH PLANTING MIX.
- 14. TREES SHALL BE SET IN TRUE, VERTICAL ALIGNMENT AFTER PLANTING.
- 15. ALL PLANTS SHALL BE PLANTED PER THE LANDSCAPE PLAN, DETAILS AND SPECIFICATIONS. PLANTINGS NOT FOUND TO BE IN COMPLIANCE SHALL BE REPLANTED CORRECTLY, OR REPLACED AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 16. ADJUST SHRUB, PERENNIAL, AND GROUNDCOVER SPACING AS NECESSARY TO EVENLY FILL PLANTING BEDS.
- 17. THE LANDSCAPE ARCHITECT OR OWNER RESERVES THE RIGHT TO REJECT PLANTS ON SITE WHETHER STOCK PILED OR PLANTED IN PLACE. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM SITE.
- 18. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
- 19. WHERE PLANTING BEDS MEET TURF AREAS, THE CONTRACTOR SHALL PROVIDE A CULTIVATED EDGE. MULCH ALL SHRUB BEDS TO THE LINE SHOWN. THE CONTRACTOR SHALL FURNISH AND INSTALL 3" LAYER OF SHREDDED HARDWOOD MULCH UNDER ALL TREE PLANTINGS AND SHRUB BEDS. (SUBMIT SAMPLE, SEE SPECS.)
- 20. AN APPROVED GRANULAR ORGANIC PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN ALL PLANTING BEDS AT A RATE SPECIFIED BY MANUFACTURER FOR EACH PLANT
- 21. THE LANDSCAPE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT INJURY TO ALL PLANT MATERIAL DURING DIGGING, HANDLING, PLANTING, AND MAINTENANCE OPERATIONS.
- 22. ALL PLANTS TO BE "HEELED IN" OR STORED ON—SITE AND SHALL BE GROUPED TOGETHER BY SPECIES AND SIZE AND SHALL BE COVERED WITH MULCH OR COMPOST TO PREVENT DESICCATION. DO NOT DELIVER ANY PLANTS THAT CANNOT BE PLANTED WITHIN FIVE (5) WORKING DAYS.
- 23. FOR ALL GROUNDCOVERS, ROTOTILL 2" OF SPHAGNUM PEAT INTO TOPSOIL TO A DEPTH OF 6" TO YIELD A HOMOGENOUS MIXTURE OF TOPSOIL AND PEAT.
- 24. GROUNDCOVER AREAS SHALL ONLY RECEIVE 1 1/2" SHREDDED HARDWOOD MULCH (NO FABRIC). CAREFULLY PLACE MULCH AROUND EACH PLANT BASE.
- 25. ALL EXCAVATED TOPSOIL SHALL BE RE-USED BY THE CONTRACTOR OR IF CONSTRUCTION YIELDS ADDITIONAL TOPSOIL, IT SHALL BE STOCKPILED ON SITE IN AN AREA DESIGNATED BY THE OWNER FOR RE-USE BY THE CONTRACTOR PRIOR TO IMPORTING NEW TOPSOIL (IF ANY).
- 26. ALL DISTURBED AREAS SHALL RECEIVE 6" MINIMUM OF TOPSOIL (COMPACTED). LANDSCAPE CONTRACTOR TO COORDINATE THEIR WORK WITH OTHER TRADES REGARDING FINISH GRADING. IF AVAILABLE, CONTRACTOR IS TO USE STOCKPILED TOPSOIL ONSITE. IF NOT AVAILABLE THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR IMPORTING THE TOPSOIL NECESSARY TO MEET FINISH GRADE.
- 27. TOPSOIL, SHALL BE FERTILE, FRIABLE AND REPRESENTATIVE OF LOCAL PRODUCTIVE SOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH AND FREE OF CLAY LUMPS, SUBSOIL, NOXIOUS WEEDS OR OTHER FOREIGN MATTER SUCH AS STONES, ROOTS, STICKS AND OTHER EXTRANEOUS MATERIALS: NOT FROZEN OR MUDDY. PH OF TOPSOIL TO RANGE BETWEEN 5.5 AND 7.5.

- 28. FINE GRADE, FERTILIZE, AND SEED ALL DISTURBED AREAS WITHIN THE CONSTRUCTION LIMITS AS SHOWN WITH EROSION CONTROL BLANKET. ALL TURF AREAS SHALL DRAIN COMPLETELY AND SHALL NOT POND NOR PUDDLE. ALL TURF AREAS SHALL RECEIVE 6" THICK BLACK TOPSOIL—ALLOW FOR SETTLEMENT.
- 29. DURING LANDSCAPE WORK, KEEP PAVEMENTS CLEAN AND WORK AREAS IN AN ORDERLY MANNER. REMOVE ALL DEBRIS FROM THE JOB SITE ON A DAILY BASIS.
- 30. ALL PLANT MATERIAL SHALL BE FULLY GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. DEAD OR UNHEALTHY PLANTS SHALL BE REPLACED AS SOON AS CONDITIONS PERMIT.
- 31. SUBSTITUTION OF PLANT MATERIAL DUE TO LACK OF AVAILABILITY MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. SUBSTITUTE PLANTS SHALL BE THE SAME SIZE, OR LARGER, AND OF EQUAL OR BETTER VALUE THAN THE ITEMS SPECIFIED. THE "EQUALITY" WILL REST WITHIN THE SOLE JUDGEMENT OF THE LANDSCAPE ARCHITECT.
- 32. ALL LANDSCAPE MATERIALS MUST BE MAINTAINED IN GOOD CONDITION, PRESENT A HEALTHY, NEAT, AND ORDERLY APPEARANCE, AND BE KEPT FREE OF REFUSE AND DEBRIS. ANY DEAD, UNHEALTHY, OR MISSING PLANTS MUST BE REPLACED WITHIN 60 DAYS OF NOTIFICATION. UNLESS AN EXTENSION IS APPROVED.
- 33. THE LANDSCAPE CONTRACTOR SHALL SUBMIT PHOTOGRAPHS OF ALL TAGGED PLANT MATERIAL PRIOR TO PURCHASE FOR APPROVAL OF THE OWNER/LANDSCAPE ARCHITECT.
- 34. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL UNTIL ESTABLISHED.

MODEL

#34856

#2201-11P

#8371-30

#8303-24-2N

#2202-20P

MANUFACTURERS REPRESENTATIVES & SUPPLIER LIST

#8303-24-2N

CONTACT: RICK BIETERMAN

RICKB@NUTOYS4FORFUN.COM

SALES@DOUGLAS-SPORTS.COM

P.O. BOX 2121

708.579.9055

800-553-8907

3441 S 11TH AVE

ELDRIDGE, IA 52748

LA GRANGE, IL 60525

NU-TOYS LEISURE PRODUCTS, INC.

SITE FURNISHINGS SCHEDULE

KEY

DO

I ITEM

PLAYER BENCH

TENNIS POST

TENNIS NET

BANGWALL/BACKBOARD

TENNIS NET TIE-DOWN

TENNIS SLEEVE & CAP

PICKLEBALL SLEEVE & CAP

PATTERSON WILLIAMS

DOUGLAS

PICKLEBALL POST

PICKLEBALL NET

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COEUR D'ALENE

CHICAGO REGIONAL OFFICE 1400 EAST TOUHY AVENUE, SUITE 215 DES PLAINES, IL 60018 P. 312.644.3379

VERNON HILLS
PARK DISTRICT



CLIENT ADDRESS:
635 NORTH ASPEN DRIVE
VERNON HILLS, IL 60061

PROJECT:

LASCHEN PARK

PROJECT LOCATION:
VERNON HILLS, IL

LAKE COUNTY

PLAN MODIFICATIONS:

SHEET TITLE:
GENERAL NOTES /
SCHEDULES

HEET NUMBER:

SD1.0

JSD PROJECT NO:

REFER TO ALL CONSTRUCTION PLANS, NOTES AND DETAILS

QTY.

COMMENTS

AND INSTALLED BY OWNER.

ALTERNATE BID ITEMS.

10 FOOT PLAYER BENCH. BENCH FURNISHED

RALLY MASTER BACKBOARD 10' X 20'. SEE

POST COLOR: 555 DARK GREEN, POWDERCOAT

IN-GROUND, POWDER COAT FINISH

COLOR: 555 DARK GREEN

MFR. I

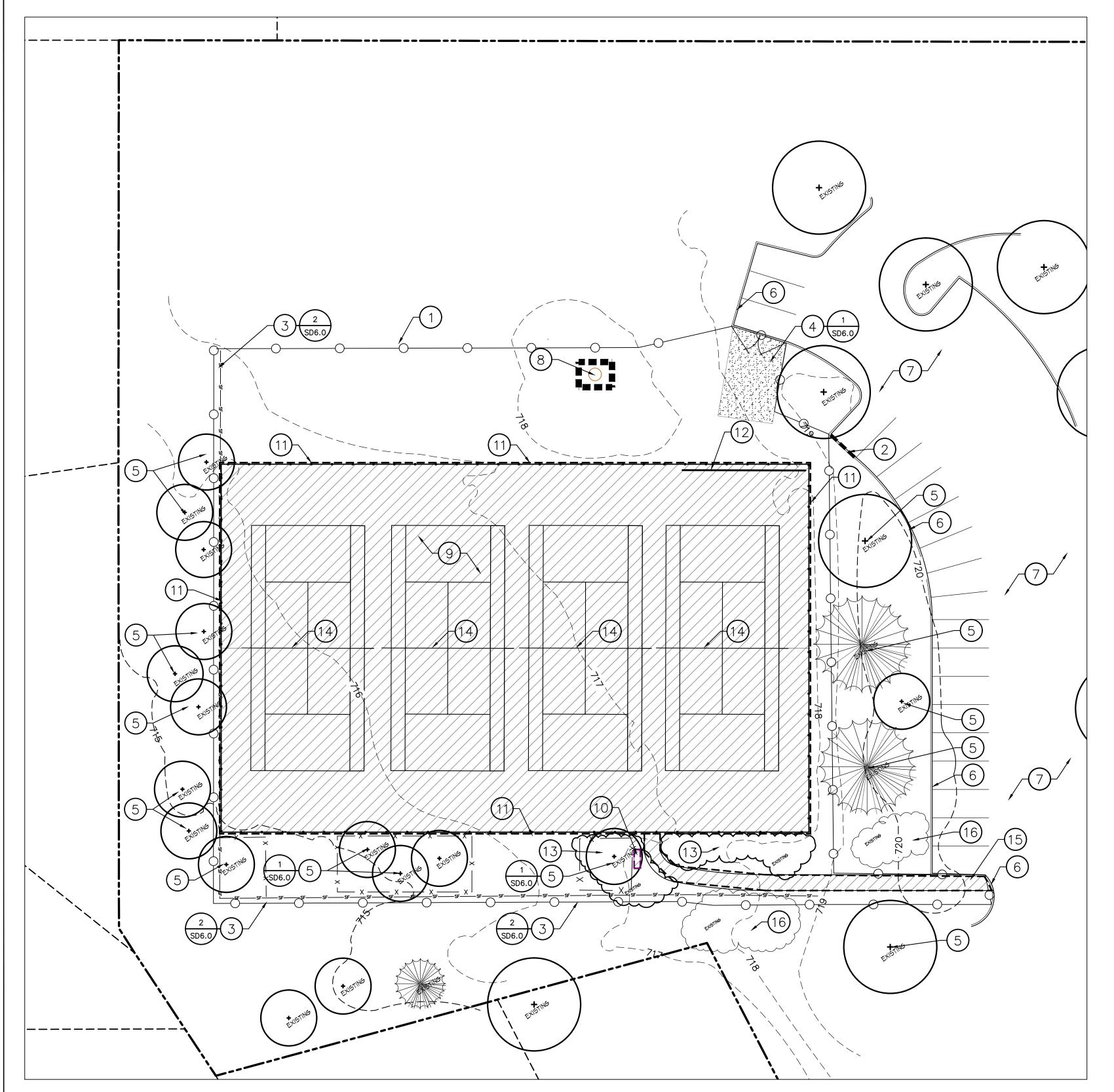
DO

PW

PW

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ΡW



LEGEND

PROPERTY LINE

SAWCUT EXISTING PAVEMENT

CONSTRUCTION FENCE

SILT FENCE

TREE PROTECTION FENCING

CONSTRUCTION ENTRANCE

▗▃▗▃▗▃▗▃▗ ▗▘▀▋ ▋▄▗▗

INLET PROTECTION

REMOVALS

EXISTING CONDITIONS/DEMOLITION PLAN NOTES:

- 1. FURNISH AND INSTALL 6' CHAIN LINK CONSTRUCTION FENCE. PROVIDE ONE 20' GATE/OPENING FOR CONSTRUCTION ENTRANCE. FURNISH COMBINATION LOCK AND PROVIDE PARK DISTRICT WITH COMBINATION. ALL PRECAUTIONS SHALL BE TAKEN TO PROTECT EXISTING WALK AND CURB/GUTTER WITHIN CONSTRUCTION ACCESS. CONSTRUCTION FENCING CAN BE TAKEN DOWN TO ACCOMMODATE CONSTRUCTION BUT MUST BE REINSTALLED BY THE END OF THE WORK DAY. CONTRACTOR TO MAINTAIN FENCE DURING CONSTRUCTION.
- 2. CONTRACTOR TO SAWCUT EXISTING CURB TO PROVIDE DEPRESSED CURB.
- 3. FURNISH AND INSTALL EROSION CONTROL SILT FENCE. SEE DETAIL
- 4. STABILIZED CONSTRUCTION ENTRANCE. NO MACHINERY SHALL DRIVE OVER THE PAVEMENT, CURB, OR SIDEWALK WITHOUT PROTECTING. ANY DAMAGE THAT OCCURS WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. SEE DETAIL.
- 5. EXISTING TREE TO REMAIN, PROTECT DURING CONSTRUCTION.
 FURNISH AND INSTALL SNOW FENCE OR VINYL FENCE. IT IS THE
 ESSENCE OF THE CONTRACT TO PRESERVE THE PRESENT CONDITION
 OF THE TREES TO REMAIN. ALL REMOVALS AND DEMOLITION OF
 MATERIALS BENEATH THE TREE CANOPIES TO BE PERFORMED BY
 MANUAL OPERATIONS (HAND). NO MACHINERY TO BE USED BENEATH
 THE CANOPY OF THE TREE IN ORDER TO PROTECT ROOTS FROM
 DAMAGE
- EXISTING CURB AND GUTTER TO BE PROTECTED AT ALL TIMES. ANY DAMAGE TO THE CURB WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
- 7. EXISTING BITUMINOUS PAVEMENT TO BE PROTECTED AT ALL TIMES.
 ANY DAMAGE TO THE BITUMINOUS PAVEMENT WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
- 8. EXISTING UTILITY STRUCTURES TO REMAIN AND BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO THE UTILITY STRUCTURES WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
- 9. EXISTING BITUMINOUS COURT PAVING TO BE REMOVED AND HAULED OFF SITE. DISPOSE OF IN A LEGAL MANNER. AGGREGATE BASE TO REMAIN AND BE REUSED. SEE ALSO CONSTRUCTION PLANS.
- 10. EXISTING BENCH TO BE REMOVED AND DELIVERED TO THE PARK
- 11. EXISTING FENCING INCLUDING FOOTINGS TO BE REMOVED AND HAULED OFF SITE. DISPOSE OF IN A LEGAL MANNER.
- 12. EXISTING BACKBOARD/BANGWALL TO BE REMOVED AND STORED FOR RE-INSTALLATION. SEE ALSO ALTERNATE BID ITEMS.
- 13. EXISTING VEGETATION TO BE REMOVED INCLUDING ROOTBALL. DISPOSE OF IN A LEGAL MANNER.
- 14. EXISTING TENNIS EQUIPMENT (INCLUDING NETS, POLES, SLEEVES AND CONCRETE FOOTINGS) TO BE REMOVED AND HAULED OFF SITE. DISPOSE OF IN A LEGAL MANNER.
- 15. EXISTING CONCRETE WALK TO BE REMOVED INCLUDING BASE AND HAULED OFF SITE. DISPOSE OF IN A LEGAL MANNER.
- 16. EXISTING VEGETATION/SHRUBS TO REMAIN, PROTECT DURING CONSTRUCTION.



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CLIENT:
VERNON HILLS
PARK DISTRICT



CLIENT ADDRESS:
635 NORTH ASPEN DRIVE
VERNON HILLS, IL 60061

PROJECT:

LASCHEN PARK

PROJECT LOCATION:
VERNON HILLS, IL
LAKE COUNTY

PLAN	MODIFICA	HON
#	Date:	
1	02/23/21	

1 02/23/21 75% CONSTRUCTION DOCS
2 03/17/21 100% CONSTRUCTION DOCS
3 03/26/21 ISSUED FOR BID

6 7 8 9 10 11 12 12 13 14 15

Design/Drawn: SCD/LMV

EET TITLE:

EXISTING CONDITONS/ DEMOLITION PLAN

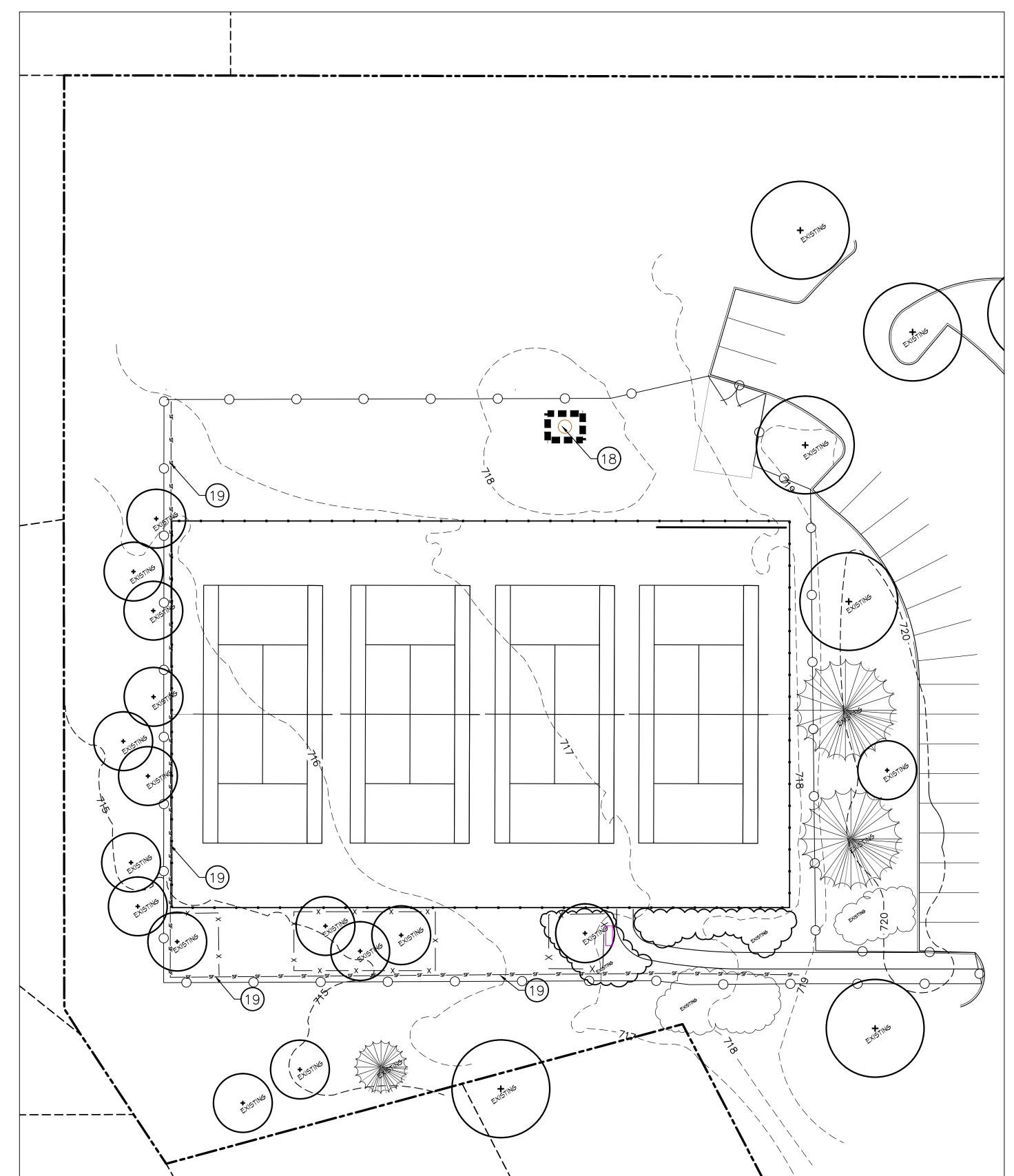
SHEET NUMBER:

JSD PROJECT NO:

SD2.0

north
0 20 40
1"=20'

NOTE TO CONTRACTOR: A TOPOGRAPHIC SURVEY WAS NOT PERFORMED PRIOR TO DESIGN OF THE COURTS. LOCATIONS AND ELEVATIONS OF EXISTING PAVEMENT, CURB AND TREES HAVE BEEN FROM ACQUIRED THROUGH LAKE COUNTY GIS. TOPOGRAPHIC INFORMATION ON THIS PLAN NEEDS TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO DEMOLITION AND CONSTRUCTION. NOTIFY JSD PROFESSIONAL SERVICES OF ANY DISCREPENCIES.



SOIL EROSION & SEDIMENT CONTROL NOTES

- 1. CONTRACTOR IS RESPONSIBLE TO NOTIFY LANDSCAPE ARCHITECT AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. LANDSCAPE ARCHITECT AND APPROPRIATE PARK DISTRICT/VILLAGE OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- 2. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR LANDSCAPE ARCHITECT SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- 4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- 5. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED AND DOCUMENTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- 6. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST RECEIVE PRIOR APPROVAL BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- 7. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEPT AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE PARK DISTRICT.
- . INLET PROTECTION SHALL BE IMMEDIATELY INSTALLED AT ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
- 9. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIFR."
- 10. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
- 11. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, OR AREAS THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- 12. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBILE FOR REPAIR AND MAINTENANCE DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- THE CONTRACTOR HAS COMPLETED THE PROJECT.

 13. REFER TO PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN
- 14. STABILIZATION PRACTICES:
- 14.1. *STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
- 14.2. *THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
- *CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14)
 DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION
 ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT,
 STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE
 BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
- 4. *STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - * PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 * TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT
 - OR CEREAL RYE (150LB/ACRE)

ILLINOIS (THE "GREEN BOOK") AS A GUIDELINE FOR EROSION CONTROL.

- * HYDRO-MULCHING WITH A TACKIFIER * GEOTEXTILE EROSION MATTING
- 15. TEMPORARY AND PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH THE SOIL PROTECTION CHART SHOWN BELOW.

SOIL PROTECTION CHART STABILIZATION CHART

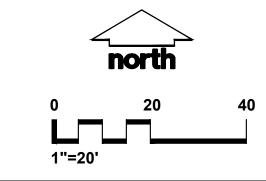
MONTH (NUMERICAL)	1	2	3	4	5	6	7	8	9	10	11	12
PERMANENT SEEDING			ΙΑ			*	*	*	-	-		
DORMANT SEEDING	В—		-									
TEMPORARY SEEDING			lc—			<u> </u>			-	-		
SODDING			E-**						-	-		
MULCHING	F—											
HYDRO MULCH	G—											

- A. KENTUCKY BLUEGRASS 90 LBS/AC. MIXED WITH PERENNIAL RYEGRASS 30 LBS./AC.
- CLESEN'S SUNNY MIX OR EQUAL. SPRING OATS 100 LBS/AC.
- SPRING OATS 100 LBS/AC. WHEAT OR CEREAL RYE
- SOD NURSERY GROWN KENTUCKY BLUEGRASS STRAW MULCH 2 TONS PER ACRE
- G. HYDRO MULCH 2 TONS & 2000 GAL PER ACRE

**IRRIGATION NEEDED DURING JUNE, JULY, AND SEPTEMBER (BY CONTRACTOR INCIDENTAL TO CONTRACT)

**IRRIGATION NEEDED 2-3 WEEKS AFTER SODDING (BY CONTRACTOR INCIDENTAL TO CONTRACT)

- 16. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
- 17. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR DURING ALL PHASES OF THE CONSTRUCTION UNTIL SUCH TIME CONSTRUCTION IN THE AREAS HAS ACHIEVED SUBSTANTIAL COMPLETION AND THE SITE STABILIZED.
- 18. ALL STRUCTURES THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE. STRUCTURES TO BE REMOVED SHALL BE PROTECTED UNTIL REMOVAL.
- 19. SINGLE ROW SILT FENCE.



NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL NOTES:

THE MUNICIPALITY REQUIRES GENERAL COMPLIANCE WITH THE NPDES PHASE II PROGRAM, AS SUCH, THE MUNICIPALITY REQUIRES THAT ALL DEVELOPMENTS PROVIDE, TO THE EXTENT POSSIBLE, CONSTRUCTION SITE RUN-OFF CONTROL AND ILLICIT DISCHARGE PREVENTION AND ELIMINATION, ALL DEVELOPMENTS WILL PROVIDE THE FOLLOWING:

- 1. AN EROSION CONTROL PLAN THAT PROVIDES FOR, AMONG OTHER THINGS, SILT FENCE AROUND THE SITE WHERE ANY RUN-OFF WOULD BE DIRECTED OFF-SITE, EITHER TEMPORARILY OR PERMANENTLY. INCLUDED IN THE PLAN WILL BE 'SILT-SAVER' (OR EQUAL) FRAMES AND FILTER ASSEMBLIES OVER ALL STORM SEWER STRUCTURES. STRAW BALES WILL NO LONGER BE ALLOWED DUE TO THE LACK OF MAINTENANCE. SILTATION BASINS AND DITCH CHECKS WILL BE SHOWN AS APPROPRIATE. THE PLAN SHALL HAVE THE FOLLOWING CERTIFICATION: "THIS EROSION CONTROL PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND COMPLIES WITH THE URBAN SOIL EROSION CONTROL AND STANDARDS IN ILLINOIS MANUAL AND THE GENERALLY RECOGNIZED METHODS IN USE IN THE AREA." THE EROSION CONTROL PLAN SHALL BE SIGNED AND DATED BY THE PROJECT
- 2. ALL STORM WATER FRAMES AND GRATES SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK" OR OTHER ACCEPTABLE LETTERING AS APPROVED BY THE MUNICIPALITY.
- 3. THE LAST CATCH BASIN PRIOR TO THE OUTLET TO A DETENTION SYSTEM OR NATURAL WATERWAY SHALL BE EQUIPPED WITH A TRAP SUCH AS THE SNOUT (OR EQUAL). THE CONTRACTOR SHALL CLEAN OUT ALL SUMPS OF SUSPENDED SOLIDS AND OTHER POLLUTANTS ON A REGULAR BASIS UNTIL THE MUNICIPALITY ACCEPTS THE IMPROVEMENTS
- 4. THE CONTRACTOR/APPLICANT SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.
- 5. THE APPLICANT IS RESPONSIBLE FOR SUBMITTING THE NOTICE OF INTENT (NOI) TO THE IEPA AFTER THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE NOI IS POSTMARKED AT LEAST 30 DAYS BEFORE COMMENCEMENT OF ANY WORK ON SITE.
- 6. THE SWPPP SHALL INCLUDE THE FOLLOWING ADDITIONAL CERTIFICATION AND SIGNATURE BY THE APPLICATION AND CONTRACTOR IN ACCORDANCE WITH IEPA GENERAL NPDES PERMIT NO. ILR-10. TWO ORIGINAL PLANS WITH SIGNATURES SHALL BE PREPARED, ONE SENT TO THE MUNICIPALITY AND THE OTHER KEPT ON SITE.
- 6.1. CONTRACTOR CERTIFICATION STATEMENT: "I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT (ILR—10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIES AS PART OF THIS CERTIFICATION.
- 6.2. APPLICANT CERTIFICATION STATEMENT: "I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHEMNTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYTEM, OR THOSE PERSONS DIRECTLY RESPONSIBILE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."
- 7. THE CONTRACTOR IS RESPONSIBLE FOR HAVING THE SWPPP ON SITE AT ALL TIMES.

NOTE TO CONTRACTOR: A TOPOGRAPHIC SURVEY WAS NOT PERFORMED PRIOR TO DESIGN OF THE COURTS. LOCATIONS AND ELEVATIONS OF EXISTING PAVEMENT, CURB AND TREES HAVE BEEN FROM ACQUIRED THROUGH LAKE COUNTY GIS. TOPOGRAPHIC INFORMATION ON THIS PLAN NEEDS TO BE

CONFIRMED BY THE CONTRACTOR PRIOR TO DEMOLITION AND CONSTRUCTION. NOTIFY JSD

PROFESSIONAL SERVICES OF ANY DISCREPENCIES.



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1400 EAST TOUHY AVENUE, SUITE 215
DES PLAINES, IL 60018

P. 312.644.3379

VERNON HILLS
PARK DISTRICT



CLIENT ADDRESS:
635 NORTH ASPEN DRIVE
VERNON HILLS, IL 60061

PROJECT:

LASCHEN PARK

PROJECT LOCATION:
VERNON HILLS, IL
LAKE COUNTY

PLAI	N MODIFICATI	ONS:
#	Date:	Description:
1_	02/23/21	75% CONSTRUCTION DOCS
3	03/17/21	100% CONSTRUCTION DOCS
3	03/26/21	ISSUED FOR BID
<u>4</u> <u>5</u>		
5		
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10		

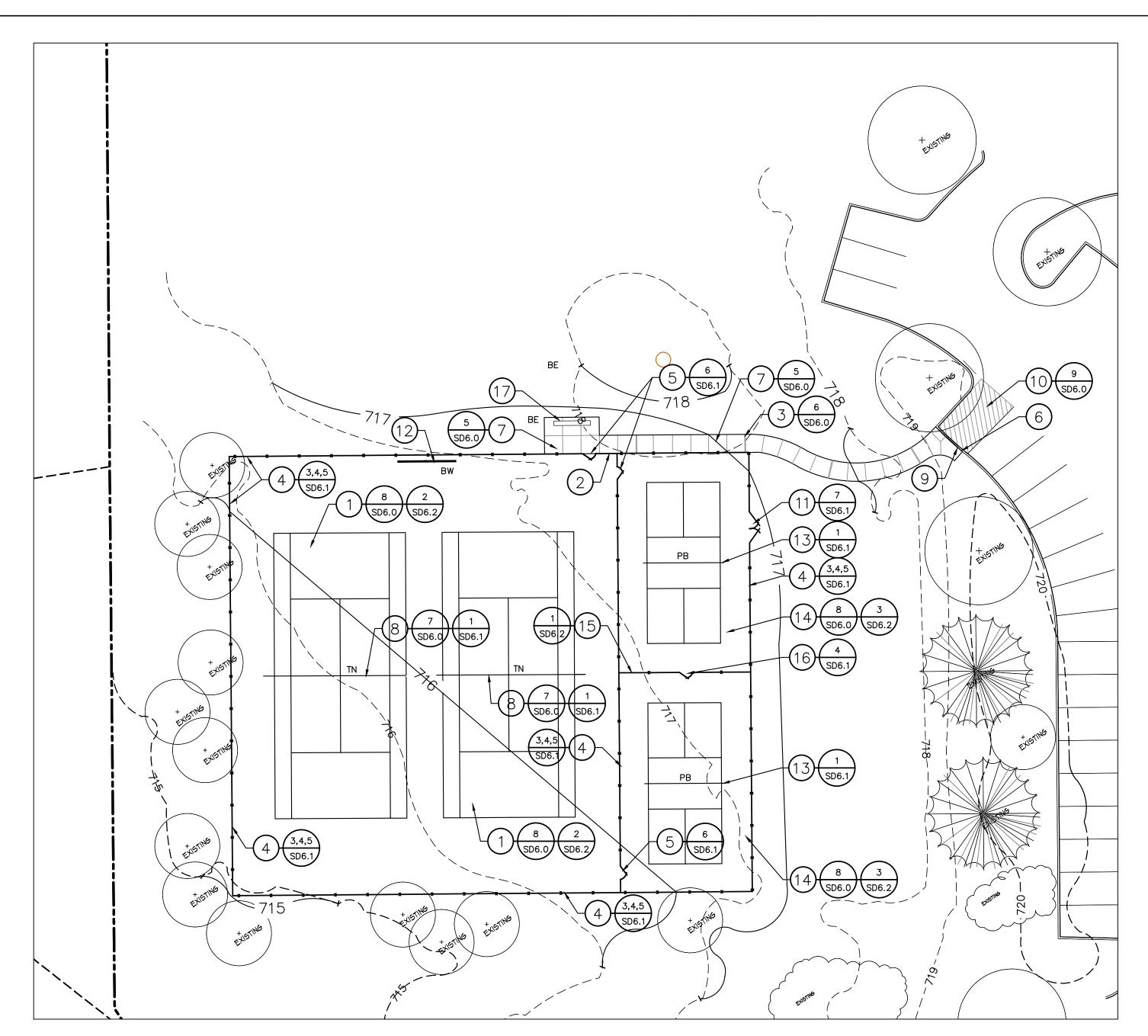
Design/Drawn: MN

SHEET TITLE:
SOIL EROSION &
SEDIMENT CONTROL
PLAN

SHEET NUMBER:

SD2.1

JSD PROJECT NO:



1 CONSTRUCTION PLAN
1"=20'-0"

CONSTRUCTION PLAN NOTES

- 1. TENNIS COURT DEVELOPMENT: EXCAVATE TO PROPOSED SUBGRADE AS SHOWN. CONSTRUCT HMA COURT PAVEMENT CONSISTING OF STONE BASE, BITUMINOUS CONCRETE PAVEMENT, AND COLOR COAT ACRYLIC SURFACING. CONTRACTOR SHALL LEVEL AND INFILL EXISTING AGGREGATE BASE TO MEET GRADING
- 2. MEET NEW BITUMINOUS COURT ELEVATION WITH NEW CONCRETE. ALL PAVEMENT TRANSITIONS SHALL BE SMOOTH AND SUBTLE. ANY ABRUPT OR NOTICEABLE ELEVATION CHANGES SHALL BE REMOVED OR REPAIRED AT NO ADDITIONAL EXPENSE TO THE THE PARK
- 3. EXPANSION JOINT (TYP.) SEE DETAIL.
- 4. FURNISH AND INSTALL 10' HT. BLACK VINYL COATED CHAIN LINK FENCE. SEE DETAIL. SEE ALSO ALTERNATE
- 5. FURNISH AND INSTALL 7' HT. BLACK VINYL COATED CHAIN LINK FENCE WITH 3' TRANSOM. SEE DETAIL. SEE ALSO ALTERNATE BID ITEMS.
- 6. MEET NEW CONCRETE PAVEMENT WITH EXISTING CONCRETE FLUSH.
- 7. FURNISH AND INSTALL 4" REINFORCED CONCRETE WALK. SCORE WALK IN 5' MODULES OR AS SHOWN AND PROVIDE 1/2" EXPANSION JOINTS AT 30' INTERVALS OR AS SHOWN. BACKFILL WALK WHERE APPLICABLE WITH TOPSOIL BY AN APPROVED METHOD.
- 8. FURNISH AND INSTALL TENNIS POSTS, NET, AND TIE-DOWN. SEE SITE FURNISHINGS SCHEDULE AND
- 9. SAWCUT AND PROVIDE DEPRESSED CURB FOR ADA ACCESS ENTIRE LENGTH OF PARKING STALL
- 10. 4" WIDE WHITE STRIPING FOR PARKING STALL.
- 11. FURNISH AND INSTALL 10' WIDE MAINTENANCE GATE. SEE DETAIL. SEE ALSO ALTERNATE BID ITEMS.
- 12. REINSTALL BACKBOARD/BANG WALL BY AN APPROVED METHOD. SEE ALSO ALTERNATE BID ITEMS.
- 13. FURNISH AND INSTALL PICKLEBALL POSTS AND NET. SEE SITE FURNISHINGS SCHEDULE AND DETAIL.
- 14. PICKLBALL COURT DEVELOPMENT: EXCAVATE TO PROPOSED SUBGRADE AS SHOWN. CONSTRUCT HMA COURT PAVEMENT CONSISTING OF STONE BASE, BITUMINOUS CONCRETE PAVEMENT, AND COLOR COAT ACRYLIC SURFACING. CONTRACTOR SHALL LEVEL AND INFILL EXISTING AGGREGATE BASE TO MEET GRADING
- 15. FURNISH AND INSTALL 4' HT. BLACK VINYL COATED CHAIN LINK FENCE. SEE DETAIL.
- 16. FURNISH AND INSTALL 5' WIDE PEDESTRIAN GATE. SEE DETAIL.
- 17. PLAYER BENCH BY OWNER.

VINYL COATED FENCE PLAN NOTES

- A. FURNISH AND INSTALL 9 GAUGE FUSE BONDED STEEL WIRE CORE BLACK VINYL COATED FABRIC.
- B. INSTALL FABRIC ON COURT SIDE OF THE POSTS.



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P. 312.644.3379

VERNON HILLS PARK DISTRICT



CLIENT ADDRESS: 635 NORTH ASPEN DRIVE **VERNON HILLS, IL 60061**

LASCHEN PARK

PROJECT LOCATION: **VERNON HILLS, IL** LAKE COUNTY

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2	03/17/21	100% CONSTRUCTION DOCS
3	03/26/21	ISSUED FOR BID
4		
5_		<u></u>
6		
7		
8		
9		
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Design/Drawn:

CONSTRUCTION PLAN

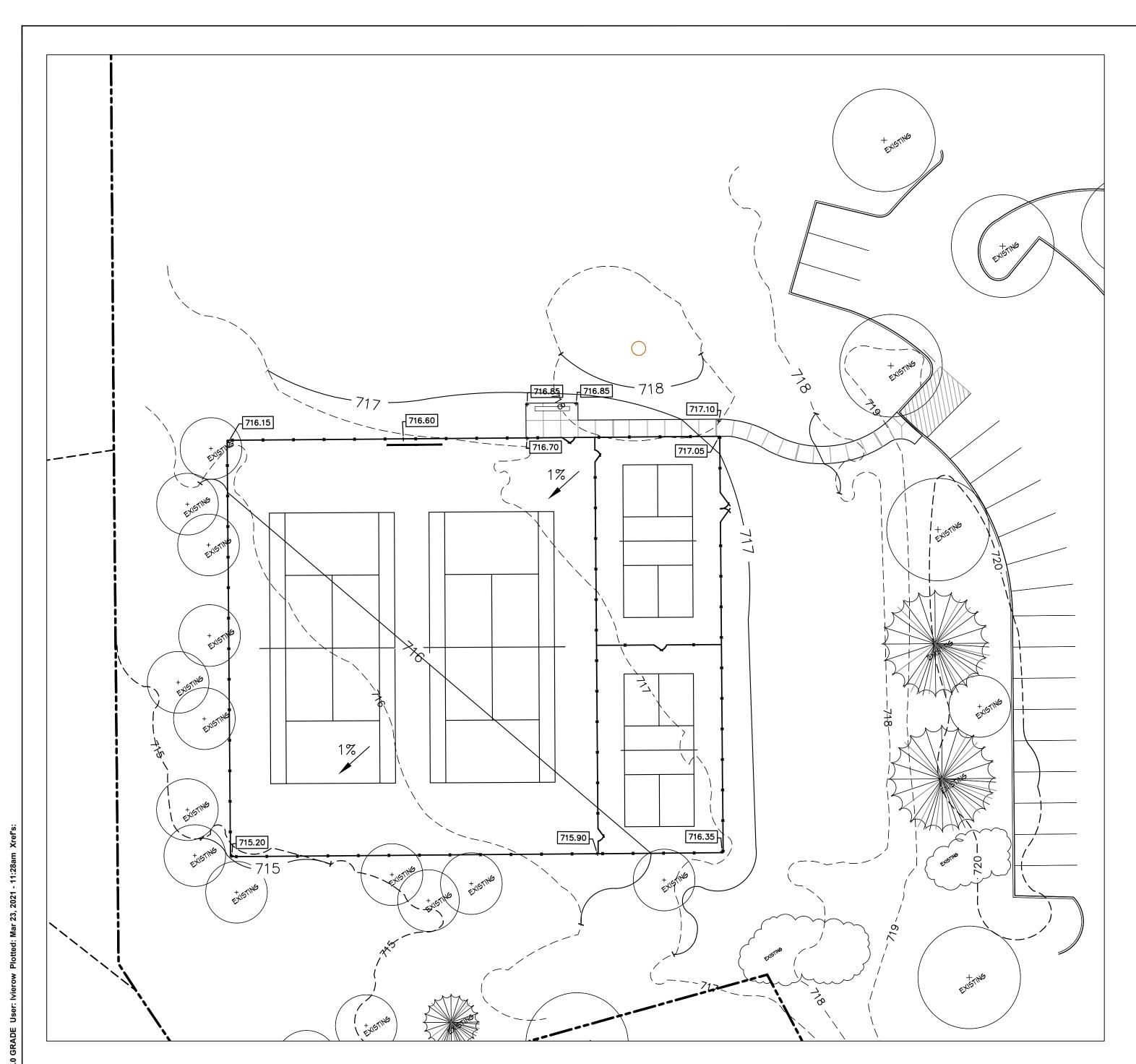
SHEET NUMBER:

JSD PROJECT NO:

* SEE ALSO CONSTRUCTION PLAN GENERAL NOTES SHEET SD1.0

	0	20	40
north	1"=20'		

NOTE TO CONTRACTOR: A TOPOGRAPHIC SURVEY WAS NOT PERFORMED PRIOR TO DESIGN OF THE COURTS. LOCATIONS AND ELEVATIONS OF EXISTING PAVEMENT, CURB AND TREES HAVE BEEN FROM ACQUIRED THROUGH LAKE COUNTY GIS. TOPOGRAPHIC INFORMATION ON THIS PLAN NEEDS TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO DEMOLITION AND CONSTRUCTION. NOTIFY JSD PROFESSIONAL SERVICES OF ANY DISCREPENCIES.



GRADING PLAN

1"=20'-0"

GRADING & DRAINAGE PLAN NOTES:

- ALL SURFACES SHALL BE GRADED FOR POSITIVE DRAINAGE. MAXIMUM SLOPE OF 1% ON COURT PAVEMENT.
- 2. SLOPES BETWEEN SPOT ELEVATIONS ON PAVEMENT SHALL BE CONSISTENT.
- 3. PROMPTLY NOTIFY THE LANDSCAPE ARCHITECT IF UNSATISFACTORY SUB-GRADE MATERIALS ARE DISCOVERED. NO PAYMENT WILL BE MADE FOR ADDITIONAL WORK COMPLETED WITHOUT ATIVE AUTHORIZATION BY OWNERS REPRESENTATIVE.
- 4. MAXIMUM SIDEWALK CROSS SLOPES SHALL BE 2%.
 MAXIMUM SIDEWALK LONGITUDINAL SLOPE SHALL BE
- 5. CONTRACTOR SHALL PLACE STAKES AT EDGES OF COURTS EVERY 25 FEET FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO EARTHWORK OPERATIONS.
- 6. CONTOURS SHOWN ARE FOR REFERENCE. CONTRACTOR SHALL LAYOUT AND CONFIRM GRADING REQUIREMENTS AND REPORT ANY DISCREPANCIES TO THE OWNER/LANDSCAPE ARCHITECT.





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VERNON HILLS PARK DISTRICT



635 NORTH ASPEN DRIVE VERNON HILLS, IL 60061

LASCHEN PARK

PROJECT LOCATION: **VERNON HILLS, IL** LAKE COUNTY

PLAN	MODIFICATION

	<u> Dato.</u>	Booonpaom
1	02/23/21	75% CONSTRUCTION DOCS
2	03/17/21	100% CONSTRUCTION DOCS
3	03/26/21	ISSUED FOR BID
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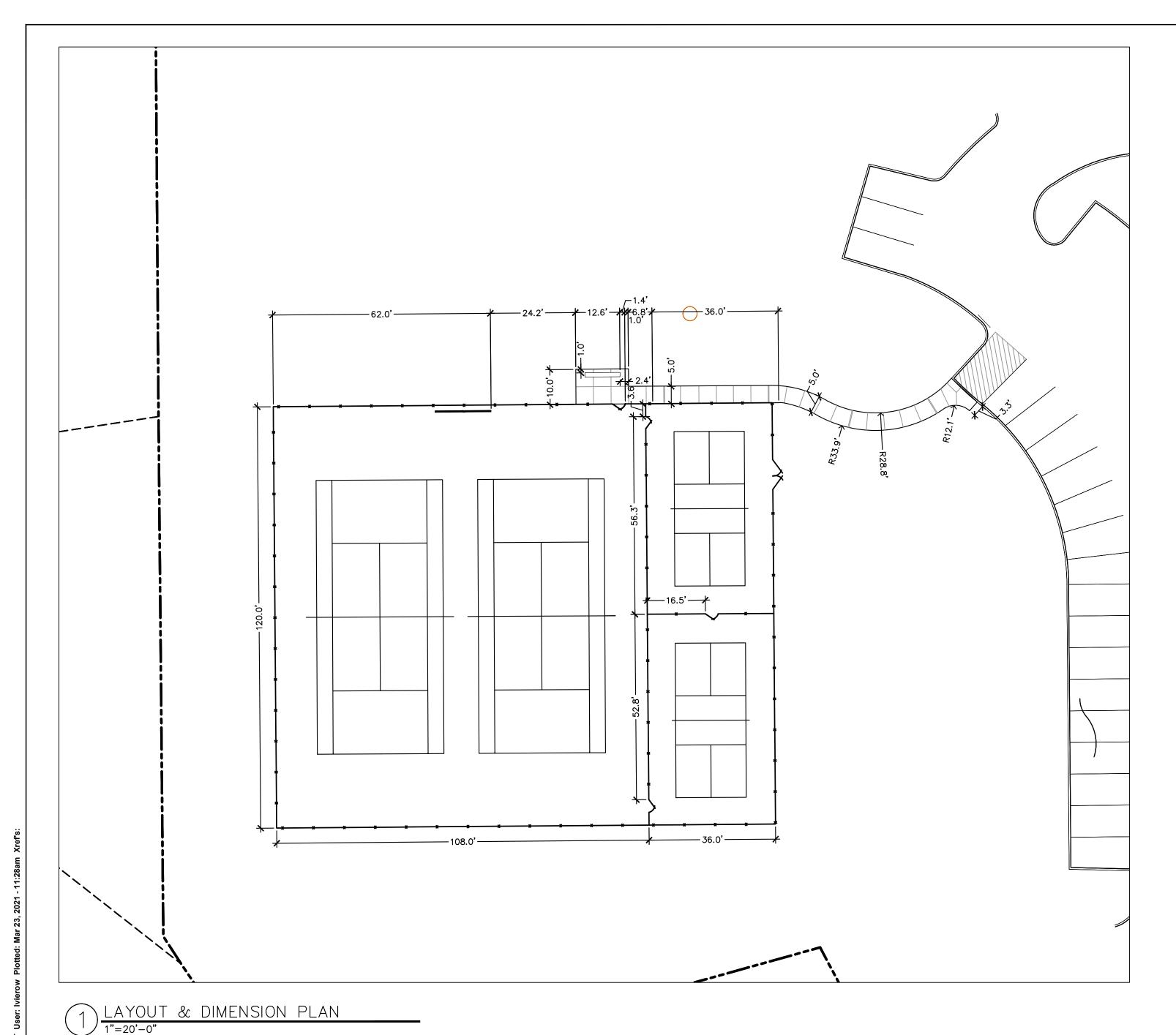
Design/Drawn:

GRADING PLAN

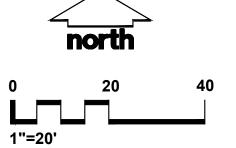
JSD PROJECT NO:

SHEET NUMBER:

NOTE TO CONTRACTOR: A TOPOGRAPHIC SURVEY WAS NOT PERFORMED PRIOR TO DESIGN OF THE COURTS. LOCATIONS AND ELEVATIONS OF EXISTING PAVEMENT, CURB AND TREES HAVE BEEN FROM ACQUIRED THROUGH LAKE COUNTY GIS. TOPOGRAPHIC INFORMATION ON THIS PLAN NEEDS TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO DEMOLITION AND CONSTRUCTION. NOTIFY JSD PROFESSIONAL SERVICES OF ANY DISCREPENCIES.







LAYOUT & DIMENSION PLAN NOTES:

- 1. CONTRACTOR RESPONSIBLE FOR FIELD LAYOUT OF ALL NEW IMPROVEMENTS. DIGITAL FILES OF GEOMETRIC INFORMATION AVAILABLE UPON REQUEST IN AUTOCAD FORMAT. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADJUSTMENTS NECESSARY TO CONSTRUCT THE WORK
- 2. CONTRACTOR RESPONSIBLE TO COORDINATE WORK IN ORDER TO OBTAIN APPROVAL OF ALL LAYOUT BY THE LANDSCAPE ARCHITECT/PARK DISTRICT PRIOR TO CONSTRUCTION. (THIS WORK IS CONSIDERED INCIDENTAL TO THE PROJECT AND NOT PAID AS A SEPARATE LINE ITEM). NO ADDITIONAL PAYMENT SHALL BE MADE TO CORRECT WORK IF CONSTRUCTED INCORRECTLY PRIOR TO APPROVAL OF LAYOUT.
- 3. ALL DIMENSION LINES SHALL EXTEND PERPENDICULAR (90 DEGREES) UNLESS OTHERWISE NOTED. ALL WALLS ARE DIMENSIONED TO FACE OF WALL UNLESS OTHERWISE NOTED.
- 4. ALL CURVES AND RADII TO BE SMOOTH AND NOT SEGMENTED. CONTRACTOR TO PROVIDE STAKES A MINIMUM OF EVERY 10 FEET WHERE RADIOS POINT ARE NOT ACCESSIBLE.
- 5. ALL PLAN FEATURES SHALL BE LAID OUT AND PAINTED OR MARKED IN THE FIELD BY THE CONTRACTOR AND REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- UNLESS OTHERWISE NOTED, ALL ANGLES ARE 90 DEGREES OR 45 DEGREES.
- SEE CONSTRUCTION DETAILS FOR TENNIS COURT LAYOUT & DIMENSIONS.



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VERNON HILLS PARK DISTRICT



CLIENT ADDRESS: 635 NORTH ASPEN DRIVE **VERNON HILLS, IL 60061**

LASCHEN PARK

PROJECT LOCATION: **VERNON HILLS, IL** LAKE COUNTY

PLAN	MODIFICAT	IONS
#	Date:	

75% CONSTRUCTION DOCS 100% CONSTRUCTION DOCS **ISSUED FOR BID**

Design/Drawn:

LAYOUT & DIMENSION PLAN

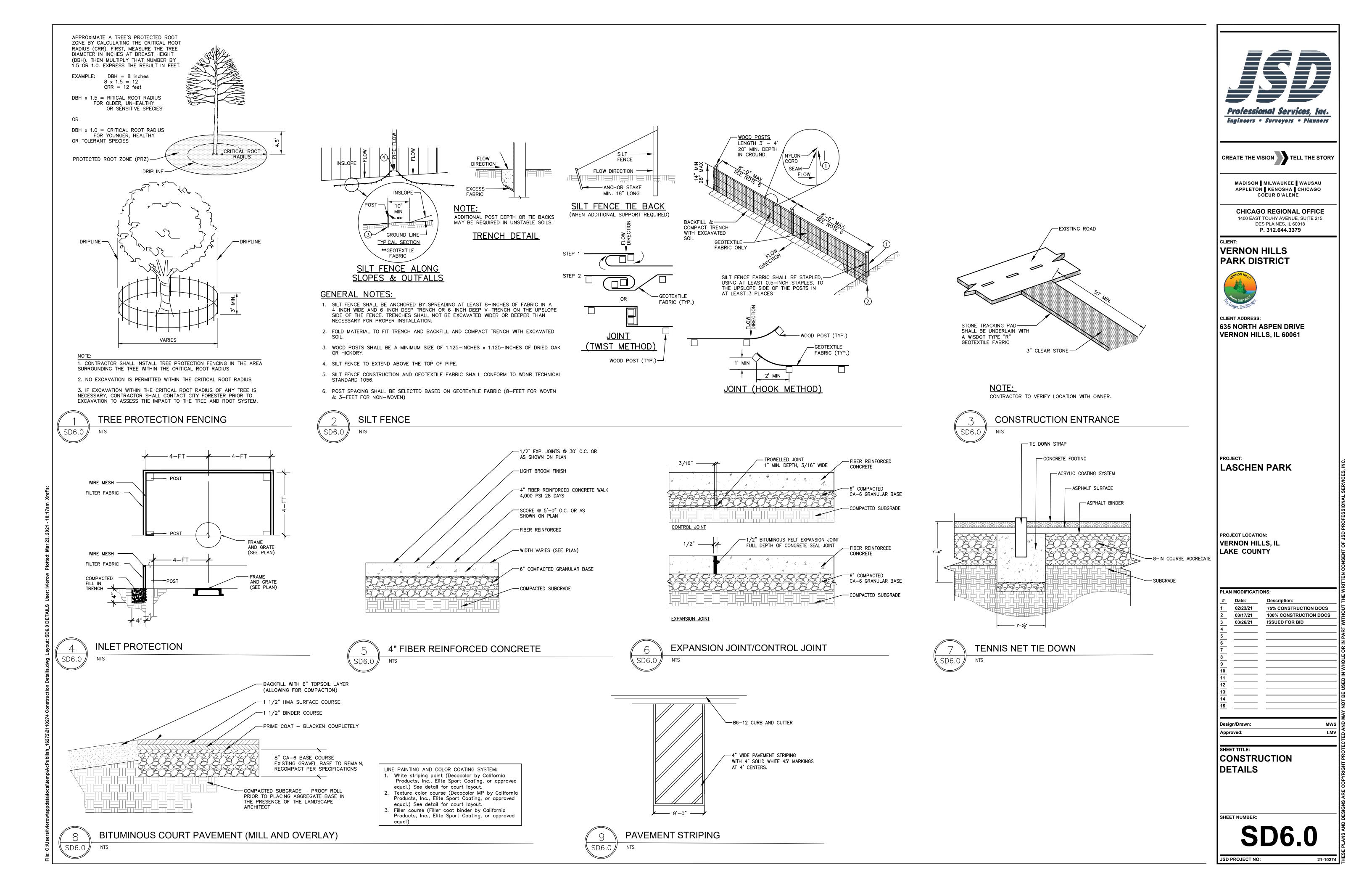
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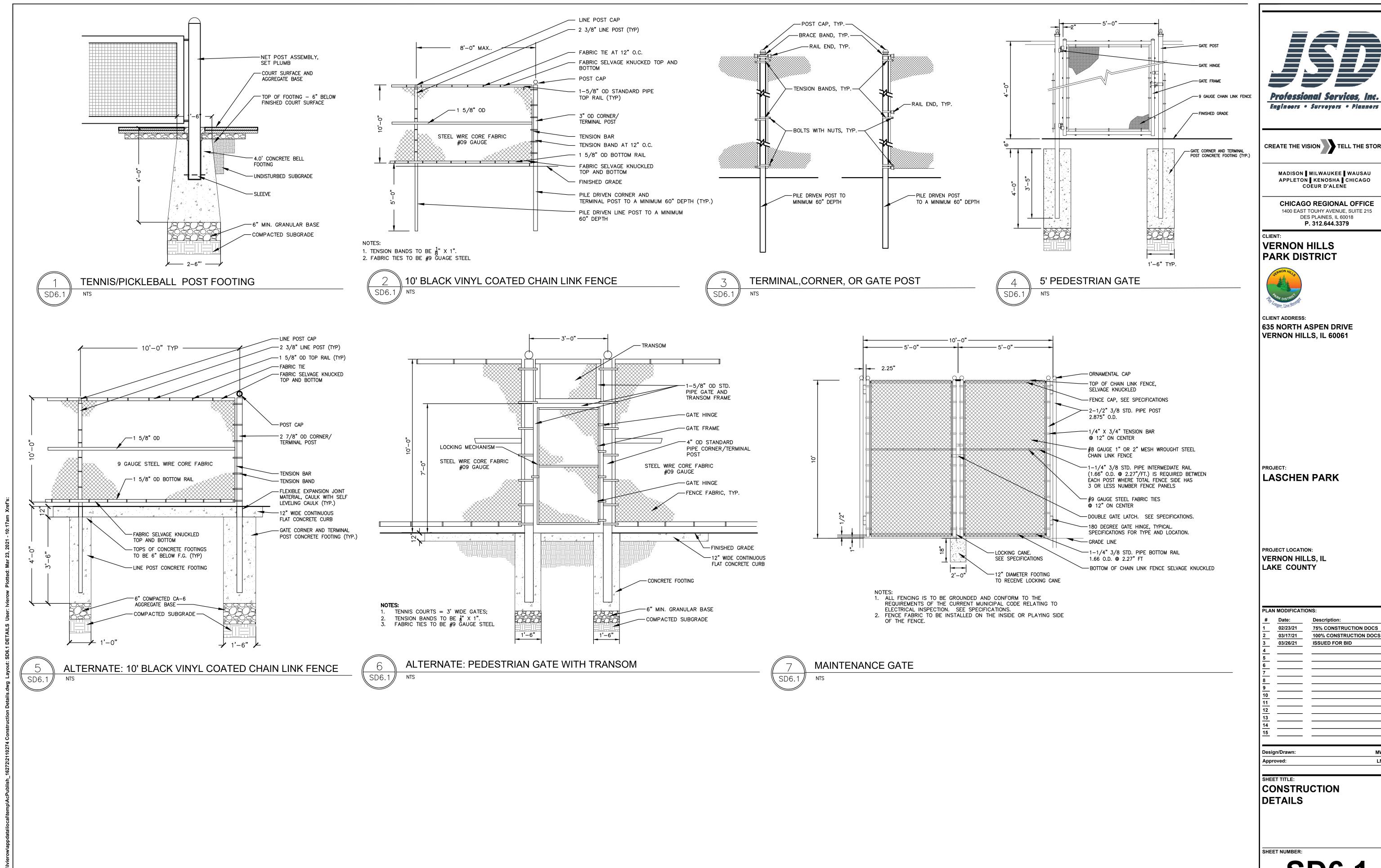
* SEE ALSO DIMENSION PLAN GENERAL NOTES SHEET SD1.0

PROFESSIONAL SERVICES OF ANY DISCREPENCIES.

NOTE TO CONTRACTOR: A TOPOGRAPHIC SURVEY WAS NOT PERFORMED PRIOR TO DESIGN OF THE COURTS. LOCATIONS AND ELEVATIONS OF EXISTING PAVEMENT, CURB AND TREES HAVE BEEN FROM ACQUIRED THROUGH LAKE COUNTY GIS. TOPOGRAPHIC INFORMATION ON THIS PLAN NEEDS TO BE

CONFIRMED BY THE CONTRACTOR PRIOR TO DEMOLITION AND CONSTRUCTION. NOTIFY JSD





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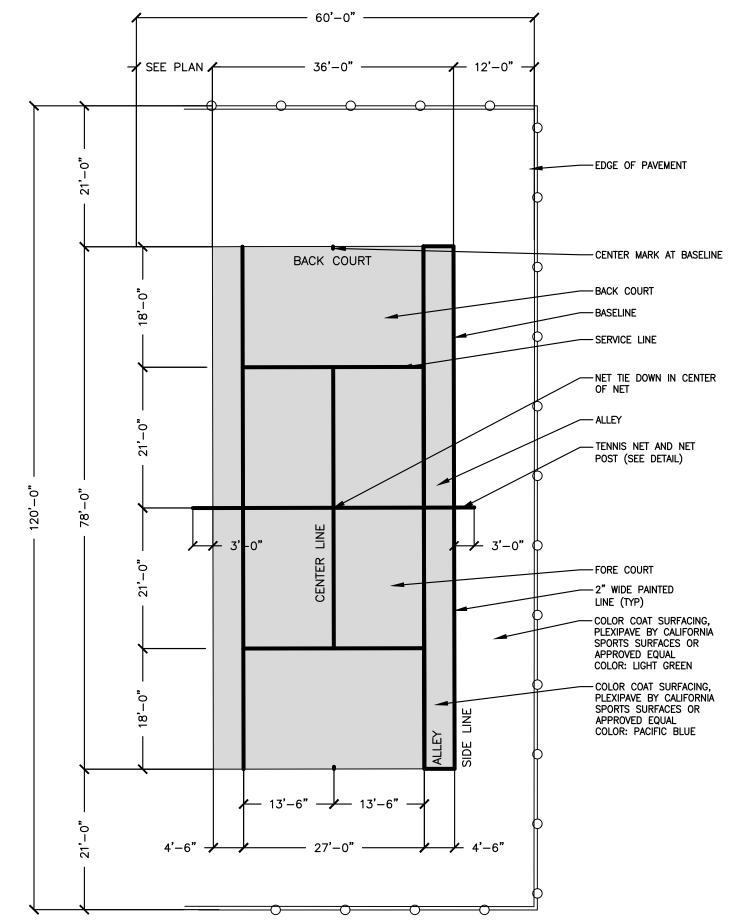
CHICAGO REGIONAL OFFICE 1400 EAST TOUHY AVENUE, SUITE 215

75% CONSTRUCTION DOCS 100% CONSTRUCTION DOCS

MWS

JSD PROJECT NO: 21-10274 SD6.2

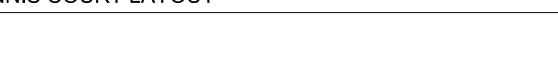
4' BLACK VINYL COATED CHAIN LINK FENCE

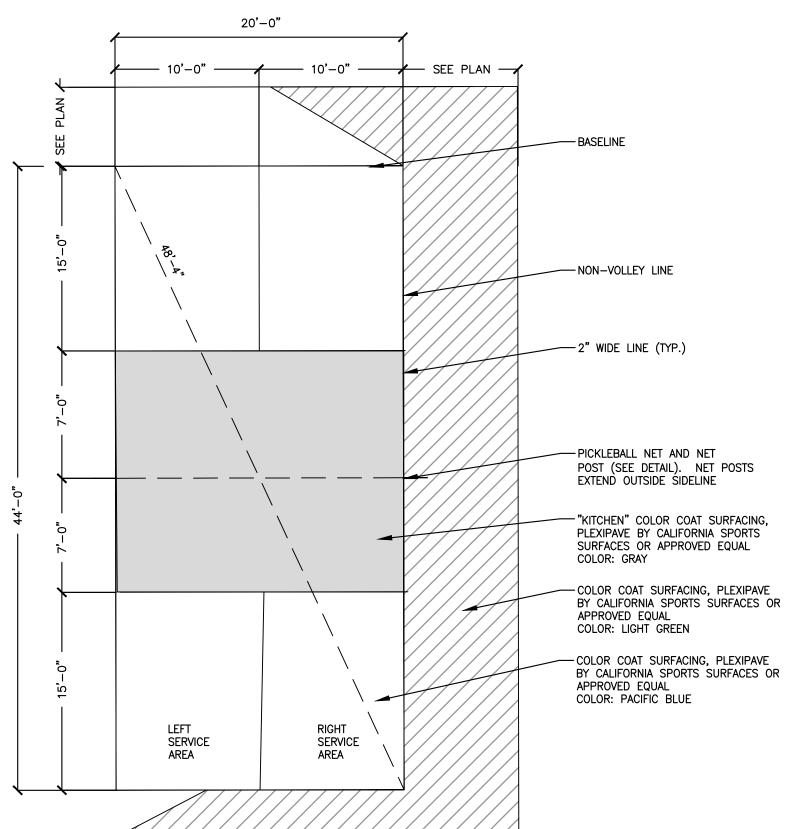




NTS

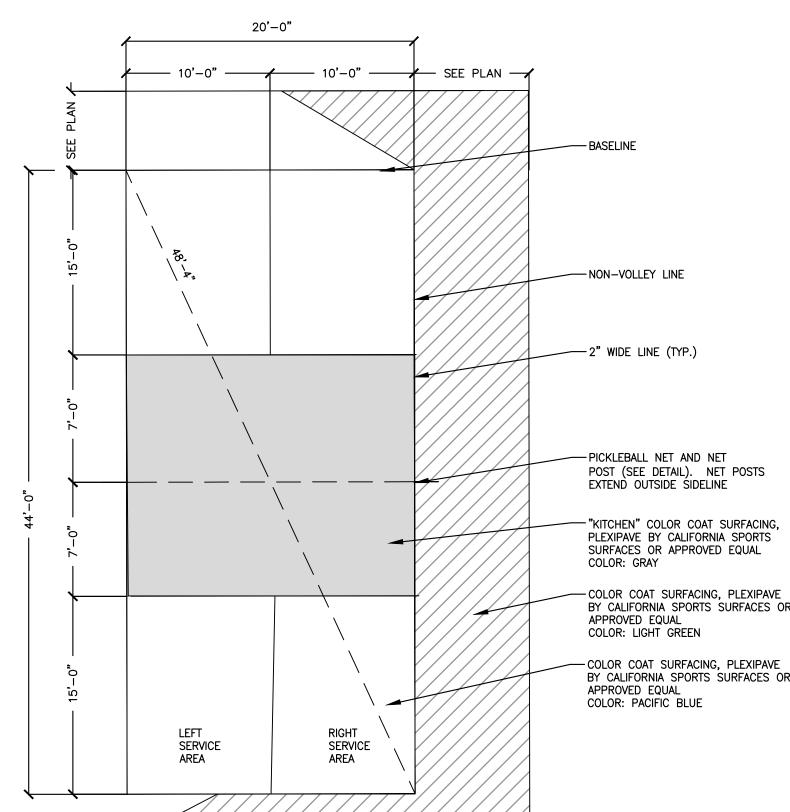
TENNIS COURT LAYOUT







PICKLEBALL COURT LAYOUT





LASCHEN PARK

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DES PLAINES, IL 60018

P. 312.644.3379

VERNON HILLS

PARK DISTRICT

635 NORTH ASPEN DRIVE

VERNON HILLS, IL 60061

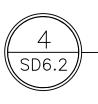
CLIENT ADDRESS:

PROJECT LOCATION: **VERNON HILLS, IL** LAKE COUNTY

02/23/21	75% CONSTRUCTION DOCS
03/17/21	100% CONSTRUCTION DOCS
03/26/21	ISSUED FOR BID
	03/26/21

CONSTRUCTION DETAILS

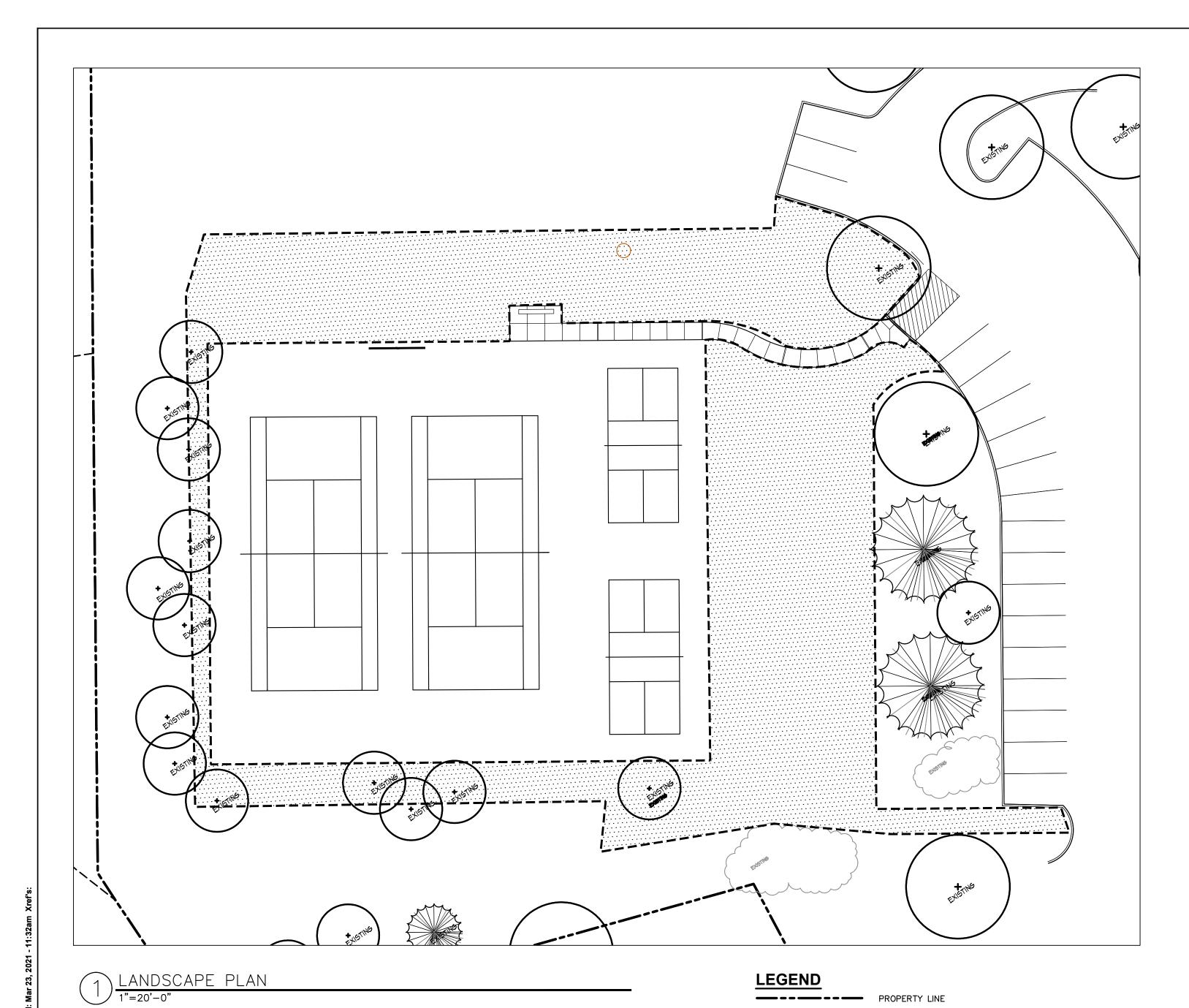
—POST CAP, TYP.— —BRACE BAND, TYP.— TENSION BANDS, TYP. -RAIL END, TYP. -BOLTS WITH NUTS, TYP. FLAT CONCRETE CURB - CONCRETE FOOTING - CONCRETE FOOTING -6" MIN. AGGREGATE BASE
-COMPACTED SUBGRADE
-COMPACTED SUBGRADE



CORNER POST

TERMINAL, CORNER, OR GATE POST (ALTERNATE)

TERMINAL OR GATE POST

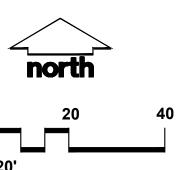


- - SEED RESTORATION LIMITS

SEED RESTORATION, CLESEN'S PREMIUM MIX (OR APPROVED EQUAL)

LANDSCAPE PLAN NOTES:

- 1. DECIDUOUS TREES TO BE FURNISHED AND INSTALLED BY THE
- 2. FINE GRADE AND SEED DISTURBED AREA, INCLUDE EROSION CONTROL BLANKET. SEED LIMIT IS APPROXIMATE. SEED TO LIMITS OF GRADING AND DISTURBANCE. CONTRACTOR RESPONSIBLE FOR RESTORATION OF ANY UNAUTHORIZED DISTURBANCE OUTSIDE OF DESIGNATED CONSTRUCTION AREA.
- 3. SEE ALSO SPECIFICATIONS FOR SEEDING REQUIREMENTS AND STANDARDS.



* SEE ALSO LANDSCAPE PLAN GENERAL NOTES SHEET SD1.0

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VERNON HILLS PARK DISTRICT



635 NORTH ASPEN DRIVE VERNON HILLS, IL 60061

LASCHEN PARK

PROJECT LOCATION: VERNON HILLS, IL LAKE COUNTY

#_	Date:	Description:			
1 2 3 4 5 6 7 8 9	02/23/21 03/17/21 03/26/21	75% CONSTRUCTION DOCS 100% CONSTRUCTION DOCS ISSUED FOR BID			
			11		
			12		
			13		
			14		
			15		

LANDSCAPE PLAN

SHEET NUMBER:

JSD PROJECT NO: 21-10274