



Vernon Hills Park District Turtle Creek Water Park

ADDENDUM 1

- 1) New bid date: The bid date has been changed to Monday, February 27th at 10 am
- 2) New final questions date: Final questions are now due by Friday, February 17th at 5 pm
- 3) New drawings: See WT Group ADD 1 2-14-23 for revised drawings C1.0, C2.0, C3.0, C3.2, C4.0, C5.0, and C6.0



Engineering • Design • Consulting

February 14, 2023

WT Group
2675 Pratum Ave.
Hoffman Estates, IL

Attn: Mr. Todd Abrams

Re: Addendum #1 for Turtle Creek Water Park

Dear Mr. Abrams:

Below are written descriptions of revisions and clarifications for the Civil Engineering Documents prepared for the Turtle Creek Water Park project in Vernon Hills, Illinois.

Sheet C-1.0 – Site Demolition Plan

1. Removed section of existing sidewalk near Aspen Drive at crossing with the existing grass pavers.

Sheet C-2.0 – Site Geometric Plan

1. Replaced section of existing sidewalk near Aspen Drive at crossing with the existing grass pavers.
2. Adjusted location of the proposed shade structure to avoid conflicts between the foundations and the proposed splash pad.
3. Revised tags for monolithic curb and sidewalk adjacent to the proposed equipment enclosure. The proposed monolithic curb is intended to abut the northeast corner of the surge tank within the equipment enclosure, extend along the north edge of the enclosure to the northeast corner, and extend 5' down the east side of the enclosure to allow for an approximately 4" drop of the adjacent grade along the north side of the enclosure.

Sheet C-3.0 – Site Development Plan

1. Replaced section of existing sidewalk near Aspen Drive at crossing with the existing grass pavers.
2. Adjusted location of the proposed shade structure to avoid conflicts between the foundations and the proposed splash pad.
3. Added note to see the Aquatics Engineering Plans for splash pad expansion and control joint layout.

Sheet C-3.2 – C-3.3 – Site Development Details

1. Replaced equipment enclosure details with the most current version received from ICON.

Sheet C-4.0 – Site Grading Plan

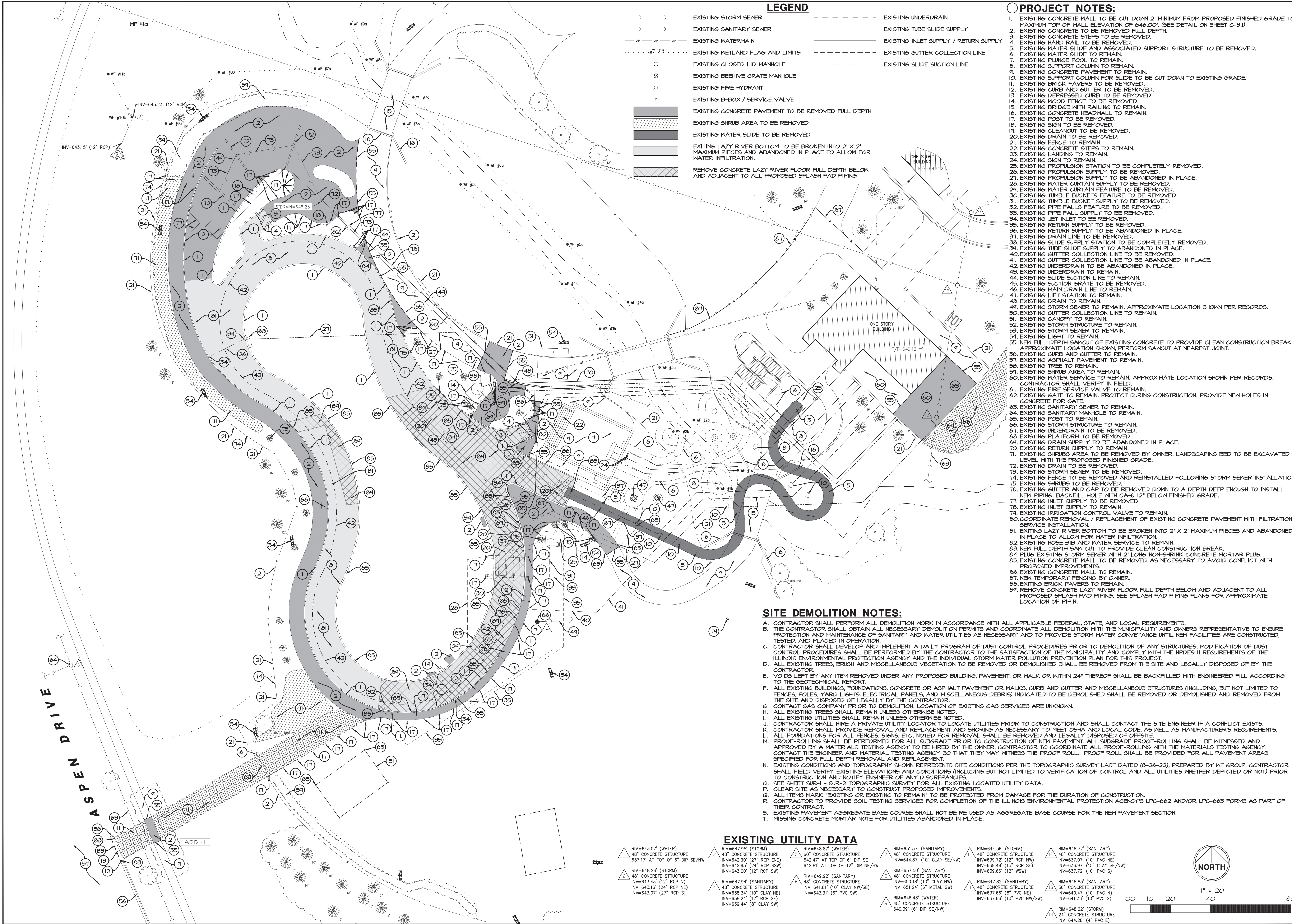
1. Replaced section of existing sidewalk near Aspen Drive at crossing with the existing grass pavers.
2. Adjusted location of the proposed shade structure to avoid conflicts between the foundations and the proposed splash pad.
3. Revised elevations labels for monolithic curb and sidewalk adjacent to the proposed equipment enclosure. The proposed monolithic curb is intended to abut the northeast corner of the surge tank within the equipment enclosure, extend along the north edge of the enclosure to the northeast corner, and extend 5' down the east side of the enclosure to allow for an approximately 4" drop of the adjacent grade along the north side of the enclosure.

Sheet C-5.0 – Site Utility Plan

1. Replaced section of existing sidewalk near Aspen Drive at crossing with the existing grass pavers.
2. Adjusted location of the proposed shade structure to avoid conflicts between the foundations and the proposed splash pad.

Sheet C-6.0 – Stormwater Pollution Prevention Plan

1. Replaced section of existing sidewalk near Aspen Drive at crossing with the existing grass pavers.
2. Adjusted location of the proposed shade structure to avoid conflicts between the foundations and the proposed splash pad.



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Engineering with Precision, Pace and Passion.
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TURTLE CREEK WATER PARK
635 N. ASPEN DRIVE
VERNON HILLS, IL 60061
VERNON HILLS PK. DIST.

VERNON HILLS PARK DISTRICT

ISSUE

TO	DATE
CLIENT	9-13-22
50% DD	10-18-22
50% CD	11-29-22
CLIENT	12-20-22
100% CD	1-20-23
Issued For Bid	1-30-23
Addendum #1	2-14-23

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JOB: C2200059

C-1.0
SITE DEMOLITION PLAN



SITE GEOMETRIC NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 8-26-22. PREPARED BY THE WT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. ALL DIMENSIONS SHOWN ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
- C. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- D. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- G. CONTRACTOR SHALL CONTACT J.U.I.E. (811 OR 1-800-982-0123) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.

PAVEMENT SECTIONS

NEW 5" CONCRETE PAVEMENT
5" PORTLAND CEMENT CONCRETE
6" CA-6

LEGEND

- E.J. (TYP.) EXPANSION JOINT
- C.J. (TYP.) CONTROL JOINT

NOTE: SEE AQUATICS ENGINEERING PLANS FOR SPLASH PAD EXPANSION AND CONTROL JOINTS LAYOUT

ADD #1

WT GROUP

Engineering with Precision, Pace and Passion.

2875 Prater Avenue Hoffman Estates, IL 60192

T: 224.293.6333 F: 224.293.6444

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TURTLE CREEK WATER PARK

635 N. ASPEN DRIVE

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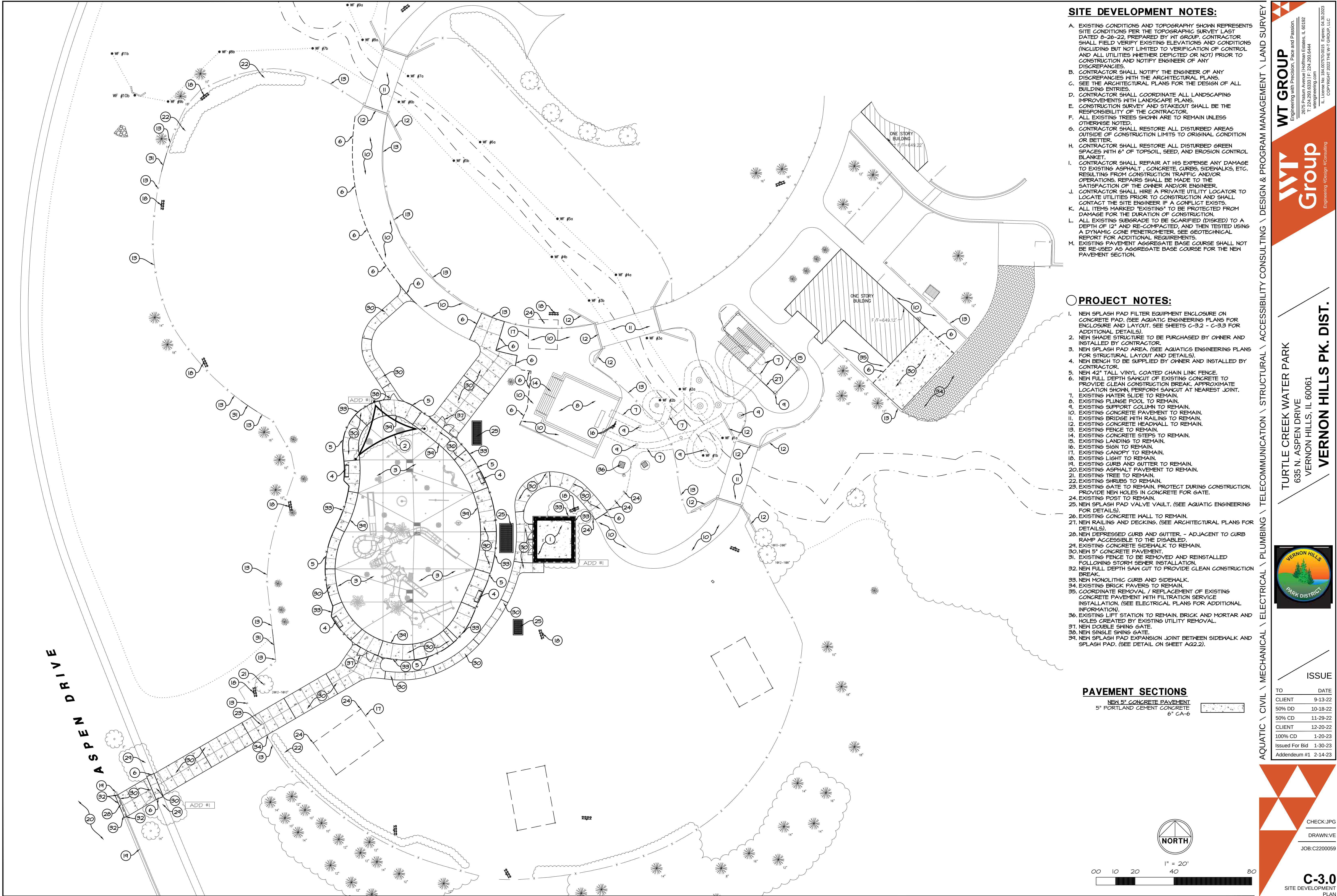
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JOB:C2200059

C-2.0

SITE GEOMETRIC PLAN



SITE DEVELOPMENT NOTES:

- EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 8-26-22, PREPARED BY MT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- CONTRACTOR SHALL COORDINATE ALL LANDSCAPING IMPROVEMENTS WITH LANDSCAPE PLANS.
- CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH 6" OF TOPSOIL, SEED, AND EROSION CONTROL BLANKET.
- CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- EXISTING PAVEMENT AGGREGATE BASE COURSE SHALL NOT BE RE-USED AS AGGREGATE BASE COURSE FOR THE NEW PAVEMENT SECTION.

PROJECT NOTES:

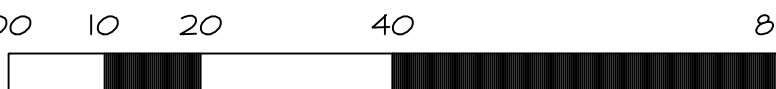
- NEW SPLASH PAD FILTER EQUIPMENT ENCLOSURE ON CONCRETE PAD. (SEE AQUATIC ENGINEERING PLANS FOR ENCLOSURE AND LAYOUT. SEE SHEETS C-3.2 - C-3.3 FOR ADDITIONAL DETAILS).
- NEW SHADE STRUCTURE TO BE PURCHASED BY OWNER AND INSTALLED BY CONTRACTOR.
- NEW SPLASH PAD AREA. (SEE AQUATICS ENGINEERING PLANS FOR STRUCTURAL LAYOUT AND DETAILS).
- NEW BENCH TO BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.
- NEW 42" TALL VINYL COATED CHAIN LINK FENCE.
- NEW FULL DEPTH SAWCUT OF EXISTING CONCRETE TO PROVIDE CLEAN CONSTRUCTION BREAK. APPROXIMATE LOCATION SHOWN, PERFORM SAWCUT AT NEAREST JOINT.
- EXISTING WATER SLIDE TO REMAIN.
- EXISTING PLUNGE POOL TO REMAIN.
- EXISTING SUPPORT COLUMN TO REMAIN.
- EXISTING CONCRETE PAVEMENT TO REMAIN.
- EXISTING BRIDGE WITH RAILING TO REMAIN.
- EXISTING CONCRETE HEADWALL TO REMAIN.
- EXISTING FENCE TO REMAIN.
- EXISTING CONCRETE STEPS TO REMAIN.
- EXISTING LANDINGS TO REMAIN.
- EXISTING SIGN TO REMAIN.
- EXISTING CANOPY TO REMAIN.
- EXISTING LIGHT TO REMAIN.
- EXISTING CURB AND GUTTER TO REMAIN.
- EXISTING ASPHALT PAVEMENT TO REMAIN.
- EXISTING TREE TO REMAIN.
- EXISTING SHRUBS TO REMAIN.
- EXISTING GATE TO REMAIN. PROTECT DURING CONSTRUCTION. PROVIDE NEW HOLES IN CONCRETE FOR GATE.
- EXISTING POST TO REMAIN.
- NEW SPLASH PAD VALVE VAULT. (SEE AQUATIC ENGINEERING FOR DETAILS).
- EXISTING CONCRETE WALL TO REMAIN.
- NEW RAILING AND DECKING. (SEE ARCHITECTURAL PLANS FOR DETAILS).
- NEW DEPRESSED CURB AND GUTTER - ADJACENT TO CURB RAMP ACCESSIBLE TO THE DISABLED.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- NEW 5" CONCRETE PAVEMENT.
- EXISTING FENCE TO BE REMOVED AND REINSTALLED FOLLOWING STORM SEWER INSTALLATION.
- NEW FULL DEPTH SAW CUT TO PROVIDE CLEAN CONSTRUCTION BREAK.
- NEW MONOLITHIC CURB AND SIDEWALK.
- EXISTING BRICK PAVERS TO REMAIN.
- COORDINATE REMOVAL / REPLACEMENT OF EXISTING CONCRETE PAVEMENT WITH FILTRATION SERVICE INSTALLATION. (SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION).
- EXISTING LIFT STATION TO REMAIN. BRICK AND MORTAR AND HOLES CREATED BY EXISTING UTILITY REMOVAL.
- NEW DOUBLE SLING GATE.
- NEW SINGLE SLING GATE.
- NEW SPLASH PAD EXPANSION JOINT BETWEEN SIDEWALK AND SPLASH PAD. (SEE DETAIL ON SHEET A02.2).

PAVEMENT SECTIONS

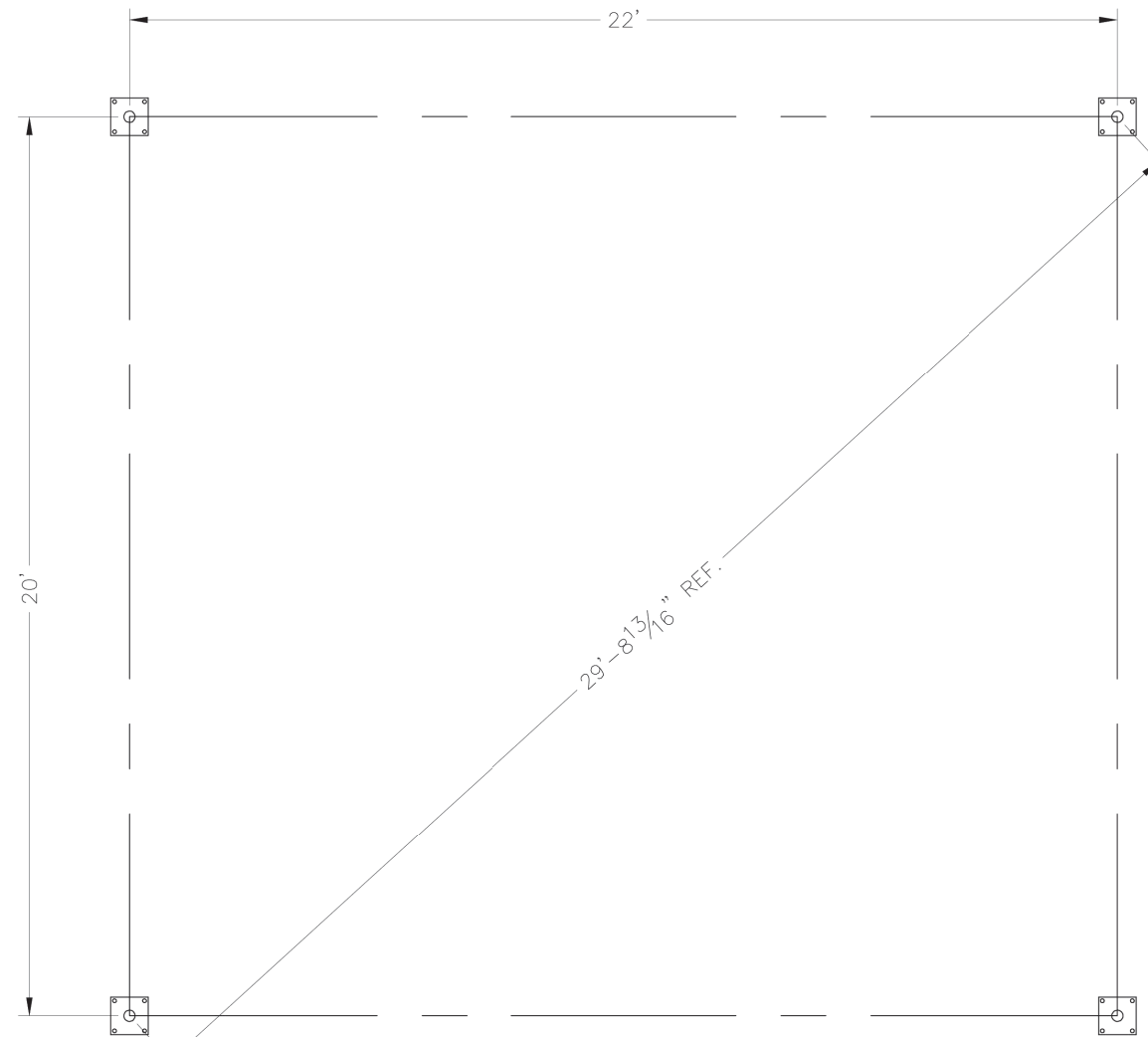
NEW 5" CONCRETE PAVEMENT
5" PORTLAND CEMENT CONCRETE
6" CA-6



1" = 20'



ADD #1



PRELIMINARY: NOT FOR
CONSTRUCTION

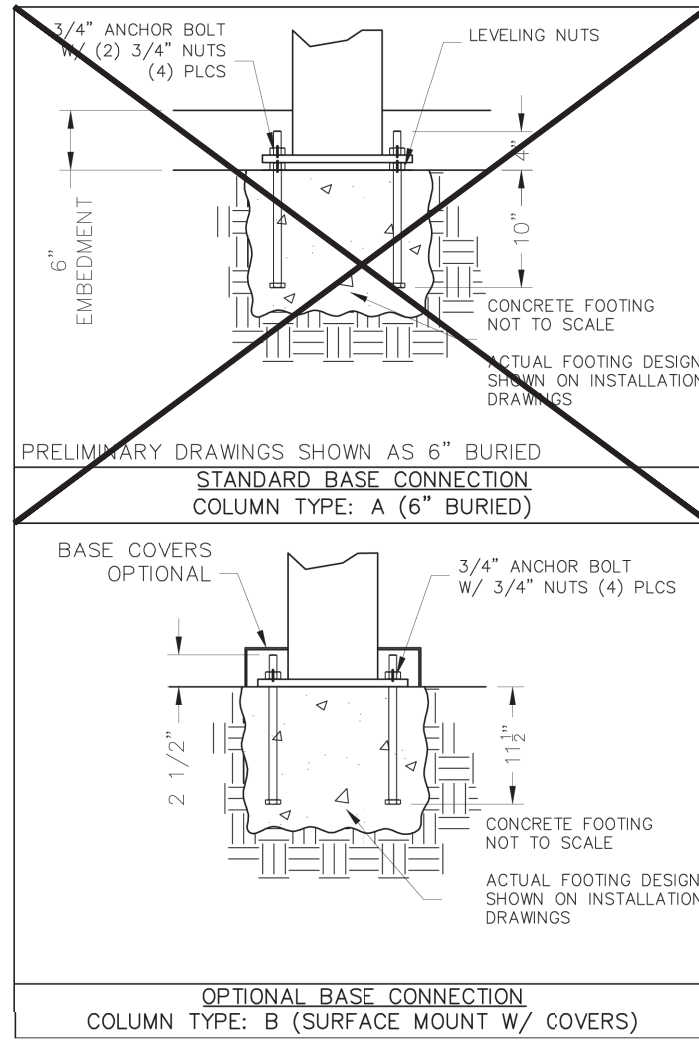
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Anchor Bolt Layout

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RGB
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2/9/2023
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78255
REVISION:
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BUILDING TYPE:
RG24X26TA-P4
PROJECT NAME:

SHEET
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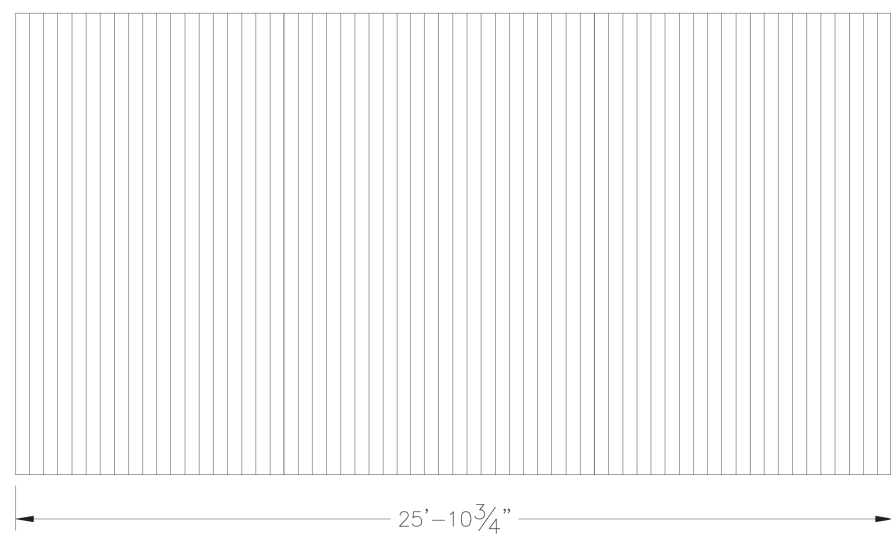
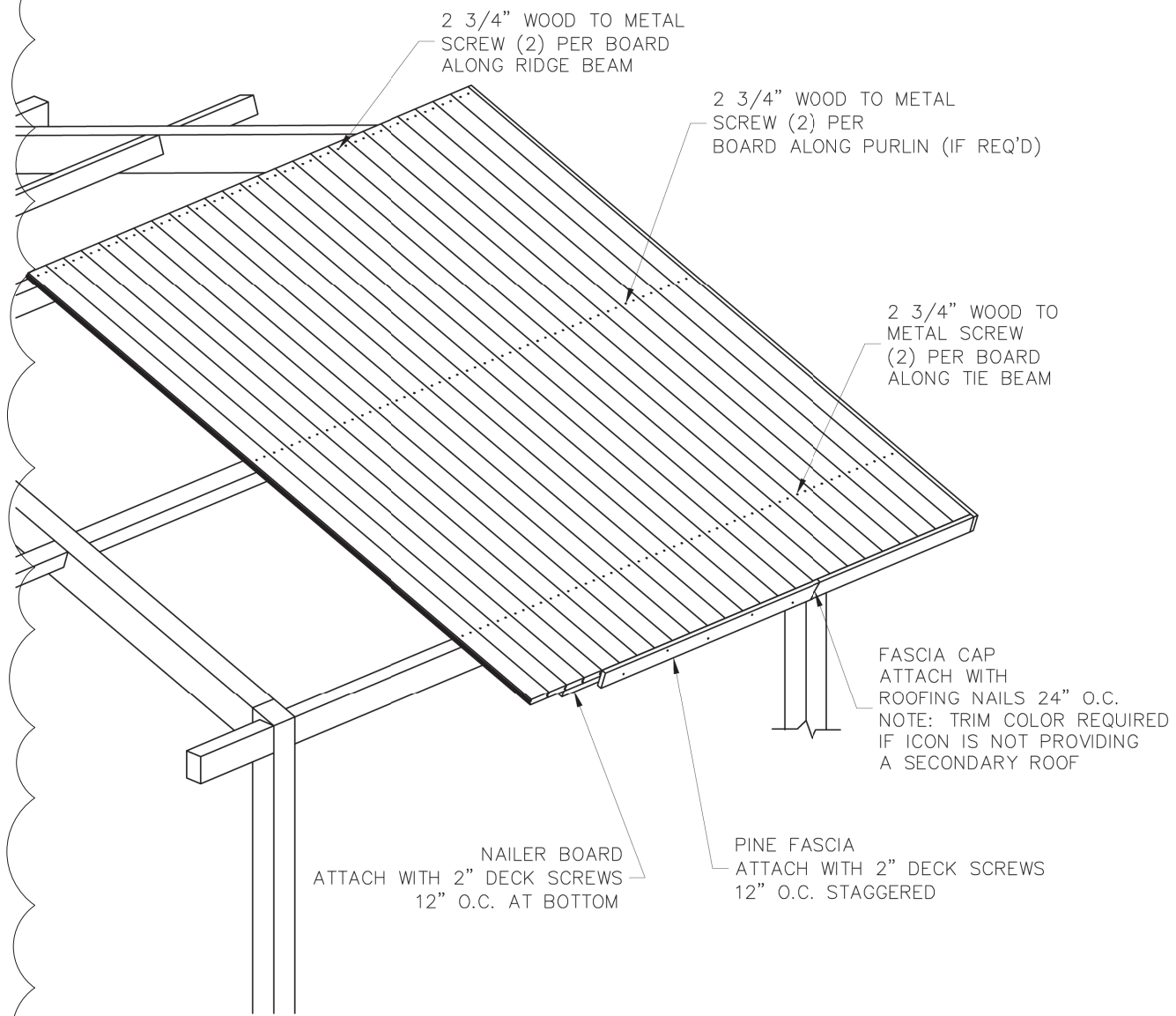
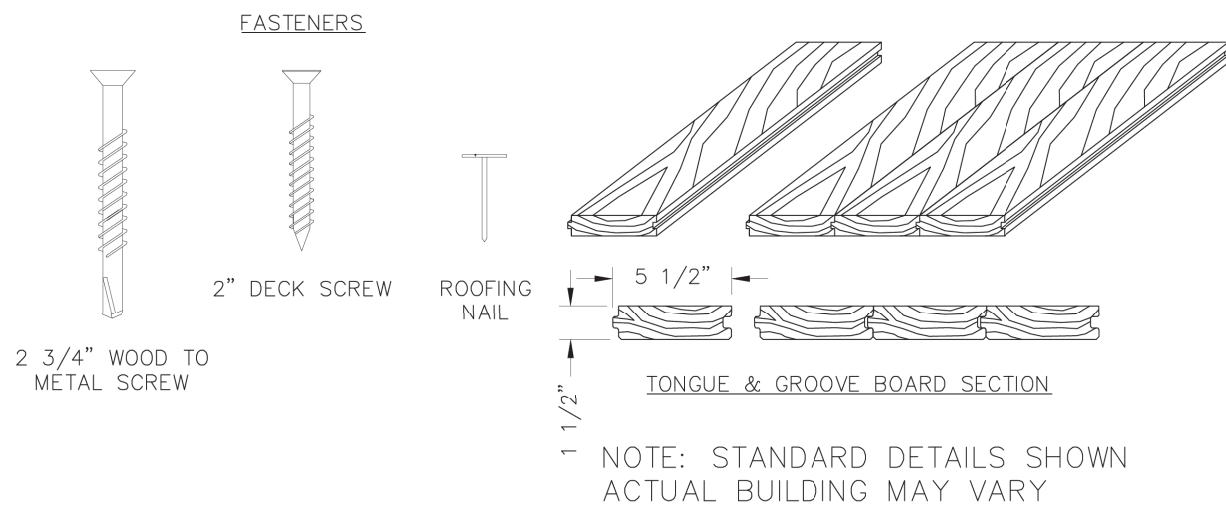
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Roof Layout

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PROJECT NAME:

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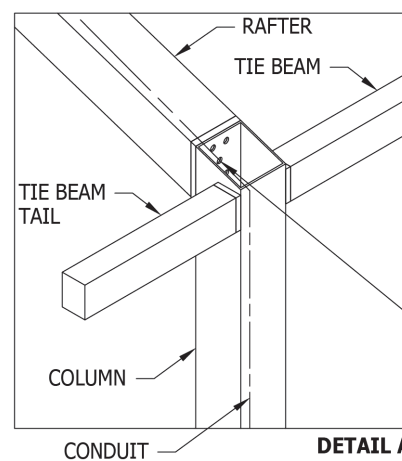
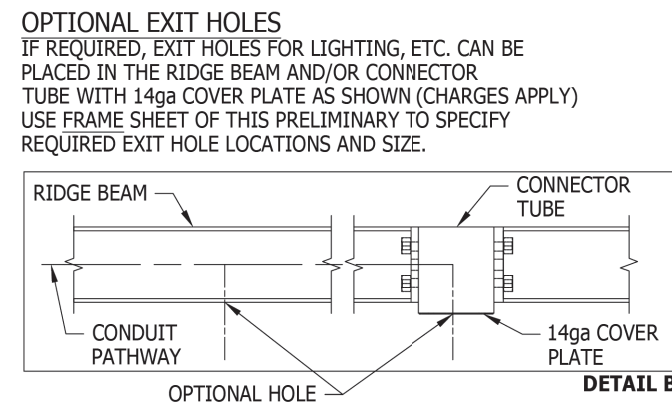


ELECTRICAL INFORMATION - RECTANGULAR GABLE

ICON'S STANDARD ELECTRICAL IS DESIGNED TO ACCOMMODATE Ø1/2" CONDUIT WITH A Ø3" INLET HOLE ON THE BOTTOM OF EACH COLUMN. THE CONDUIT PATHWAY RUNS THROUGH THE COLUMN, RAFTER, AND RIDGE BEAM THROUGH ALL BOLTED CONNECTIONS AS SHOWN. IF YOU HAVE SPECIAL ELECTRICAL REQUIREMENTS, PLEASE OUTLINE ANY CHANGES BELOW AS DESCRIBED.

PLEASE NOTE: DESIGN LIMITATIONS ON HOLE/CUTOUT SIZES MAY APPLY. ICON WILL REACH OUT TO DISCUSS ANY SUCH LIMITATIONS AS NEEDED.

NOTE: ICON SHELTER FRAME IS NOT UL LISTED TO ACT AS A CONDUIT FOR ELECTRICAL WIRING. CONSULT LOCAL BUILDING CODES WHEN PLANNING YOUR ELECTRICAL SYSTEM.

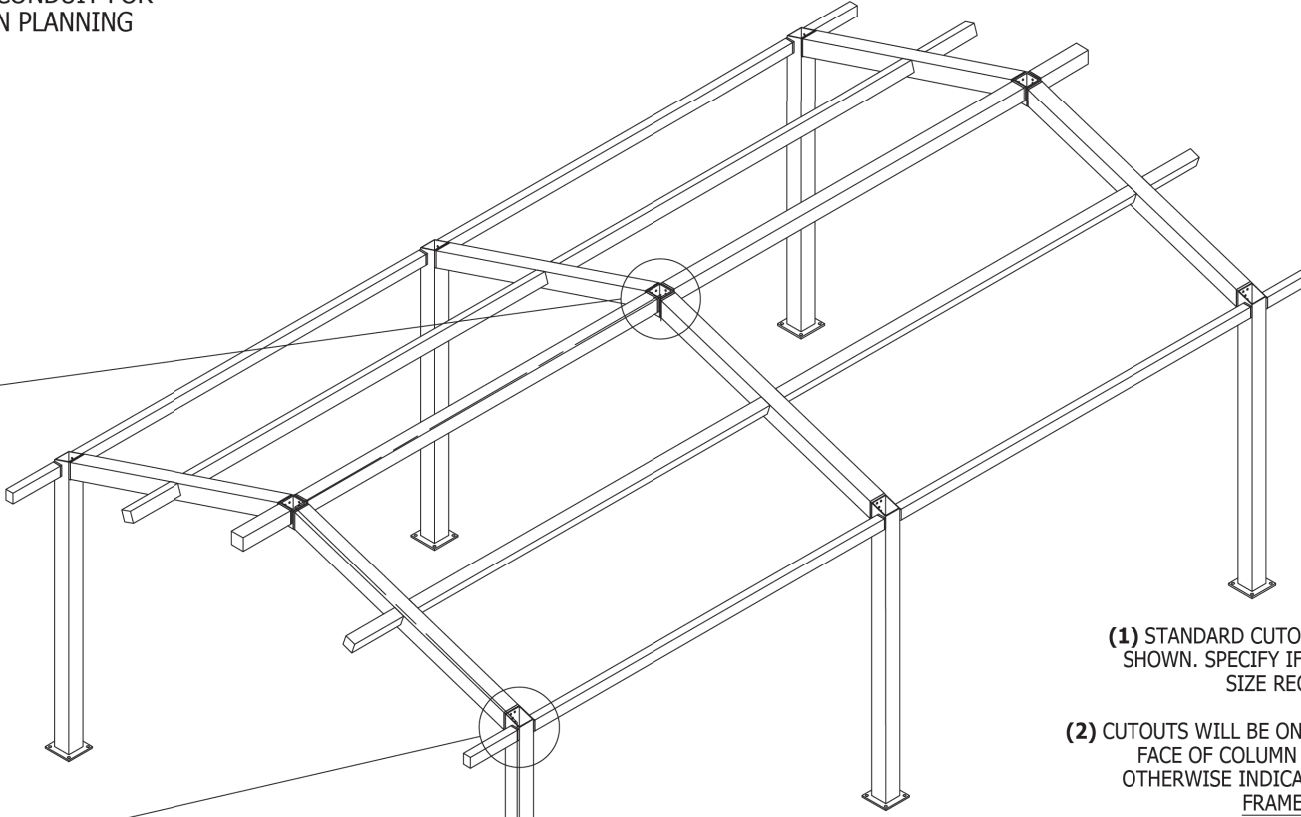


ICON PROVIDES A MINIMUM OF (1) 3/4" HOLE AT EACH CONNECTION FOR 1/2" CONDUIT. IF APPLICABLE, PLEASE SPECIFY REQUIRED CONDUIT SIZE: (CHARGES APPLY)

☐ 3/4" CONDUIT (1" HOLES)
☐ 1" CONDUIT (1 1/4" HOLES)
☐ OTHER (PLEASE SPECIFY)

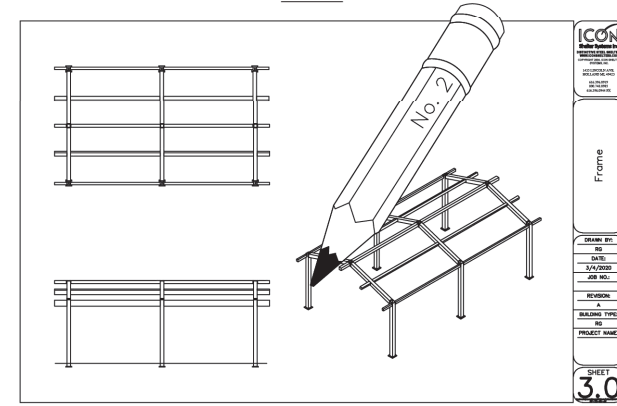
NOTE: BUILDING DEPICTED ON THIS SHEET FOR ILLUSTRATION PURPOSES ONLY. ACTUAL LAYOUT AND FRAME MEMBER QUANTITIES VARY BY DESIGN. PLEASE REFER TO ELEVATION AND FRAME SHEETS IN THIS PRELIMINARY FOR ORDER SPECIFIC CONFIGURATION.

PRELIMINARY: NOT FOR
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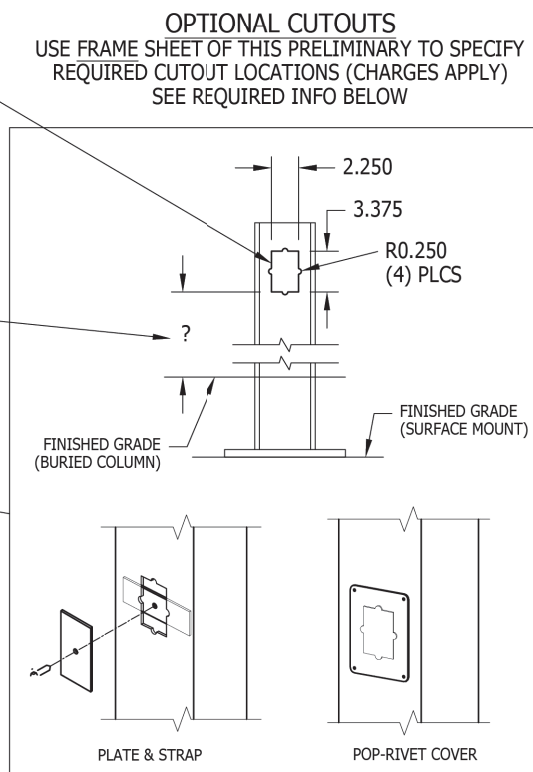


- STEPS:**
1. CONDUIT HOLE SIZE (DETAIL A)
 2. ELECTRICAL EXIT HOLES (DETAIL B)
 3. ELECTRICAL ACCESS & COVER PLATES (DETAIL C)
 4. ELECTRICAL CONDUIT PATHWAY (DETAIL D)

IF REQUIRED, PLEASE DRAW THE NECESSARY ELECTRICAL CONDUIT PATHWAY ON THE FRAME SHEET OF THIS PRELIMINARY.



- (1) STANDARD CUTOUT SIZE SHOWN. SPECIFY IF OTHER SIZE REQUIRED.
- (2) CUTOUTS WILL BE ON INSIDE FACE OF COLUMN UNLESS OTHERWISE INDICATED ON FRAME SHEET.
- (3) SPECIFY HEIGHT ABOVE FINISHED GRADE FOR EACH CUTOUT AS SHOWN



(4) COVER PLATES PROVIDED UPON REQUEST (CHARGES APPLY) PLEASE SPECIFY TYPE AND QUANTITY REQUIRED:

☐ PLATE & STRAP
☐ POP-RIVET COVER PLATE
HOW MANY REQUIRED? _____

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Electrical

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PRELIMINARY ID:
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REVISION:
A
BUILDING TYPE:
RG24X26TA-P4
PROJECT NAME:

SHEET
5.0

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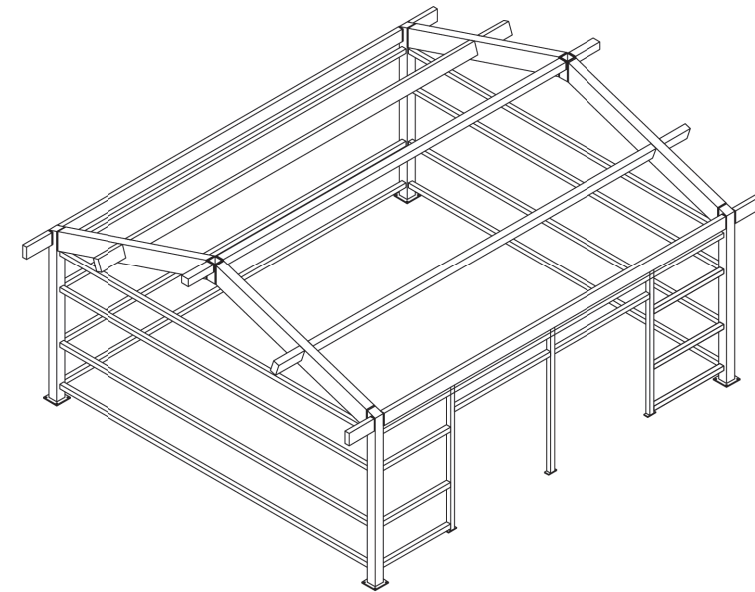
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Frame

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ALL STRUCTURAL COMPONENTS WILL BE:
TUBE: ASTM A500 GRADE B
PLATE: ASTM A36
BOLTS: ASTM A325
NUTS: ASTM A563
WELDING: GMAW

NOTE:
COLUMN SIZE: HSS 6x6x3/16

TURTLE CREEK WATER PARK
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VERNON HILLS, IL 60061

VERNON HILLS PK. DIST.



ISSUE

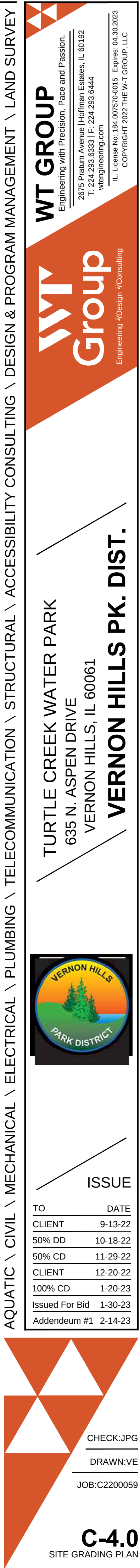
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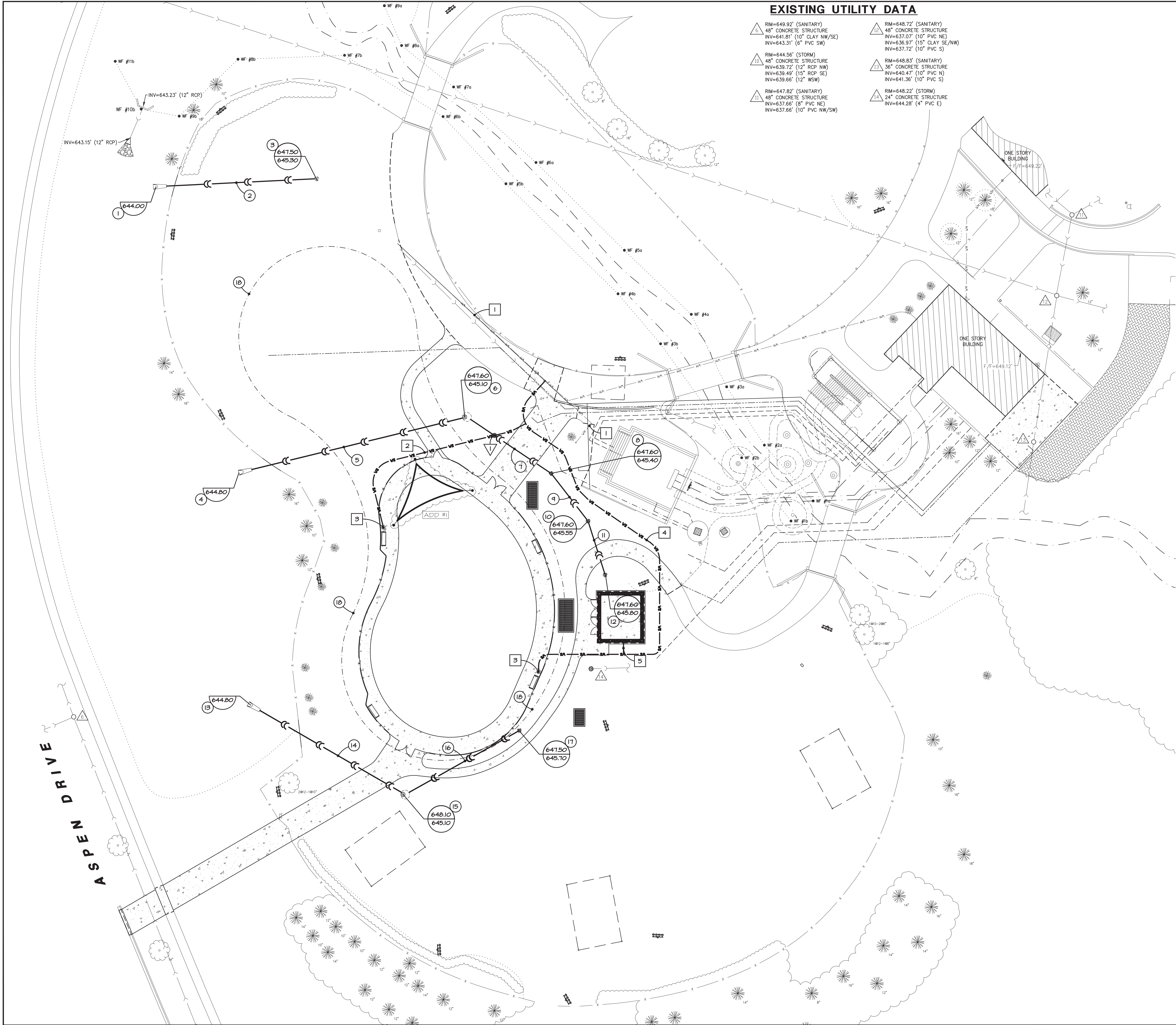
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C-3.3
SITE DEVELOPMENT
DETAILS





EXISTING UTILITY DATA

- △ 6 RIM=649.92' (SANITARY)
48" CONCRETE STRUCTURE
INV=641.81' (10" CLAY NW/SE)
INV=643.31' (6" PVC SW)
- △ 10 RIM=644.56' (STORM)
48" CONCRETE STRUCTURE
INV=639.72' (12" RCP NW)
INV=639.49' (15" RCP SE)
INV=639.66' (12" WSW)
- △ 11 RIM=647.82' (SANITARY)
48" CONCRETE STRUCTURE
INV=637.66' (8" PVC NE)
INV=637.66' (10" PVC NW/SW)
- △ 12 RIM=648.72' (SANITARY)
48" CONCRETE STRUCTURE
INV=637.07' (10" PVC NE)
INV=636.97' (15" CLAY SE/NW)
INV=637.72' (10" PVC S)
- △ 13 RIM=648.83' (SANITARY)
36" CONCRETE STRUCTURE
INV=640.47' (10" PVC N)
INV=641.36' (10" PVC S)
- △ 14 RIM=648.22' (STORM)
24" CONCRETE STRUCTURE
INV=644.28' (4" PVC E)

SITE UTILITY NOTES:

- CONTRACTOR SHALL CONTACT JULLIE (811 OR 1-800-842-0123) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL EXCAVATE AND VERIFY IN FIELD ALL EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- REFER TO THE GENERAL NOTES AND SPECIFICATION SHEETS FOR ALL PIPE MATERIAL AND JOINT SPECIFICATIONS.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- CONTRACTOR SHALL VERIFY IN FIELD EXACT SIZE, MATERIAL, INVERT, PIPE ROUTING, AND SLOPE OF ALL EXISTING UTILITIES AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF UTILITY TRENCHES DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING AND BRACING AS NECESSARY TO MAINTAIN STABILITY UNTIL CONSTRUCTION OF THE UTILITY IS COMPLETE IN ORDER TO MEET OSHA AND LOCAL CODES, AS WELL AS MANUFACTURER'S REQUIREMENTS. ALL RCP STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS IV, PER ASTM C-76 WITH FLEXIBLE (O-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C-443 AND SECTION 31-1.08 OF THE "STANDARD SPECIFICATIONS".
- TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY (ASTM D-1557) OVER ALL UNDERGROUND UTILITIES WHICH ARE CONSTRUCTED UNDER OR WITHIN 2 FEET OF ANY PROPOSED OR EXISTING PAVEMENT OR SIDEWALKS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ADJUST RIM ELEVATIONS OF EXISTING STRUCTURES IN PAVEMENT AS NECESSARY TO MEET PROPOSED FINISHED GRADE.
- CONTRACTOR TO COORDINATE ALL CONNECTIONS TO CITY UTILITIES AND STORM SEWERS WITH THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR TO USE CAUTION WHEN EXCAVATING AT EXISTING UTILITY LINES.
- ALL STORM MANHOLES SHALL HAVE OPEN LIDS UNLESS OTHERWISE SPECIFIED.
- PROVIDE RUBBER MISSION COUPLING OR SIMILAR CONNECTION BETWEEN PIPES OF DISSIMILAR SIZE OR MATERIAL.

UTILITY LEGEND

- EXISTING STORM SEWER
—○— PROPOSED STORM SEWER
—V—V—V— EXISTING WATER MAIN
—W—W—W— PROPOSED WATER SERVICE
--- EXISTING UNDERDRAIN
--- EXISTING TUBE SLIDE SUPPLY
--- EXISTING INLET SUPPLY / RETURN SUPPLY
--- EXISTING GUTTER COLLECTION LINE
--- EXISTING SLIDE SUCTION LINE
○ PROPOSED RIM ELEVATION
○ PROPOSED INVERT ELEVATION
FF FINISHED FLOOR ELEVATION
ADJUST ADJUST EXISTING RIM ELEVATION
○ EXISTING CLOSED MANHOLE
○ EXISTING OPEN GRATE MANHOLE
○ EXISTING BEEHIVE GRATE MANHOLE
○ EXISTING CURB INLET
○ PROPOSED YARD HYDRANT
○ PROPOSED OPEN LID MANHOLE / CATCH BASIN
○ PROPOSED INLET
○ PROPOSED FLARED END SECTION
□ PROPOSED NDS CATCH BASIN

PROJECT NOTES

STORM SEWER

- NEW 12" PRECAST CONCRETE FLARED END SECTION WITH TRASH GRATE.
- NEW 12" HDPE, 72 L.F. @ 1.01% SLOPE.
- NEW 24" DIA. PRECAST CONCRETE INLET.
- NEW 12" PRECAST CONCRETE FLARED END SECTION WITH TRASH GRATE.
- NEW 12" RCP, 104 L.F. @ 0.24% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE WITH OPEN LID.
- NEW 8" PVC C-400, 46 L.F. @ 0.05% SLOPE.
- NEW 12" SQUARE NDS CATCH BASIN WITH 12" BLACK SQUARE GRATE.
- NEW 8" PVC C-400, 27 L.F. @ 0.55% SLOPE.
- NEW 12" SQUARE NDS CATCH BASIN WITH 12" BLACK SQUARE GRATE.
- NEW 6" PVC C-400, 25 L.F. @ 1.00% SLOPE.
- NEW 12" SQUARE NDS CATCH BASIN WITH 12" BLACK SQUARE GRATE.
- NEW 12" PRECAST CONCRETE FLARED END SECTION WITH TRASH GRATE.
- NEW 12" RCP, 80 L.F. @ 0.30% SLOPE.
- NEW 48" DIA. PRECAST CONCRETE MANHOLE WITH OPEN LID.
- NEW 6" HDPE, 54 L.F. @ 1.02% SLOPE.
- NEW 12" SQUARE NDS CATCH BASIN WITH 12" BLACK SQUARE GRATE.
- EXISTING UNDERDRAIN TO BE ABANDONED IN PLACE. REMOVE AS NECESSARY TO AVOID PROPOSED IMPROVEMENTS.

WATER

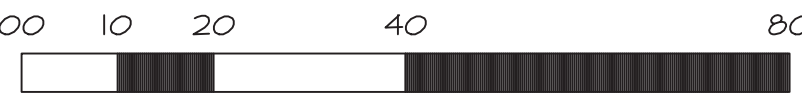
- EXISTING WATER SERVICE TO REMAIN. LOCATION SHOWN PER RECORDS. VERIFY EXISTING LOCATION, SIZE, MATERIAL, AND CONDITION IN FIELD AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- NEW 2" TYPE K COPPER WATER SERVICE, 98 L.F.
- NEW MURDOCK FLUSH BOX HYDRANT, (TYP. OF 2).
- NEW 2" TYPE K COPPER WATER SERVICE, 213 L.F.
- NEW 15" TYPE K COPPER WATER SERVICE, 6 L.F. SEE PLUMBING PLANS FOR CONTINUATION.

PIPE CROSSING

- BOTTOM OF STORM = 645.15' +/-
TOP OF WATER = 642.30' MAX.



1" = 20'



WT GROUP
Engineering with Precision, Pace and Passion.
2875 Prater Avenue Hoffman Estates, IL 60192
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WT Group
Engineering • Design • Consulting

TURTLE CREEK WATER PARK
635 N. ASPEN DRIVE
VERNON HILLS, IL 60061
VERNON HILLS PK. DIST.

**VERNON HILLS
PARK DISTRICT**

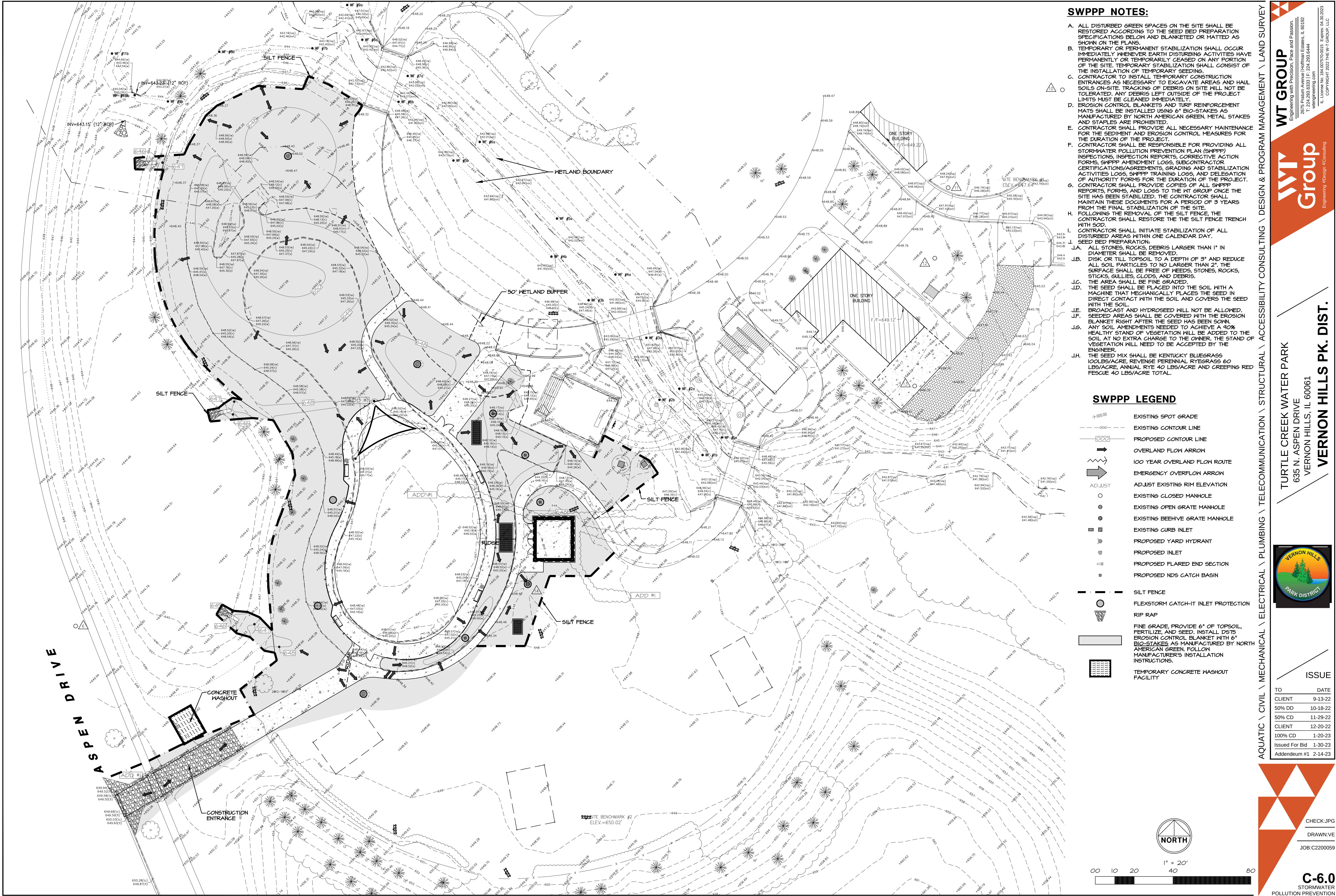
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ISSUE

TO	DATE
CLIENT	9-13-22
50% DD	10-18-22
50% CD	11-29-22
CLIENT	12-20-22
100% CD	1-20-23
Issued For Bid	1-30-23
Addendum #1	2-14-23

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SITE UTILITY PLAN



SWPPP NOTES:

- ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETED OR MATTED AS SHOWN ON THE PLANS.
- TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR IMMEDIATELY WHENEVER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
- CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO EXCAVATE AREAS AND HAIL SOILS ON-SITE. TRACKING OF DEBRIS ON SITE WILL NOT BE TOLERATED. ANY DEBRIS LEFT OUTSIDE OF THE PROJECT LIMITS MUST BE CLEANED IMMEDIATELY.
- EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS SHALL BE INSTALLED USING 6" BIO-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. METAL STAKES AND STAPLES ARE PROHIBITED.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE FOR THE SEDIMENT AND EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTIONS, INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE WT GROUP ONCE THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THIS SITE.
- FOLLOWING THE REMOVAL OF THE SILT FENCE, THE CONTRACTOR SHALL RESTORE THE SILT FENCE TRENCH WITH SOD.
- CONTRACTOR SHALL INITIATE STABILIZATION OF ALL DISTURBED AREAS WITHIN ONE CALENDAR DAY.
- SEED BED PREPARATION:
 - ALL STONES, ROCKS, DEBRIS LARGER THAN 1" IN DIAMETER SHALL BE REMOVED.
 - DISK OR TILL TOPSOIL TO A DEPTH OF 3" AND REDUCE ALL SOIL PARTICLES TO NO LARGER THAN 2". THE SURFACE SHALL BE FREE OF WEEDS, STONES, ROCKS, STICKS, GULLIES, CLODS, AND DEBRIS.
 - THE AREA SHALL BE FINE GRADED.
 - THE SEED SHALL BE PLACED INTO THE SOIL WITH A MACHINE THAT MECHANICALLY PLACES THE SEED IN DIRECT CONTACT WITH THE SOIL AND COVERS THE SEED WITH THE SOIL.
 - BROADCAST AND HYDROSEED WILL NOT BE ALLOWED.
 - SEEDING AREAS SHALL BE COVERED WITH THE EROSION BLANKET RIGHT AFTER THE SEED HAS BEEN SOWN.
 - ANY SOIL AMENDMENTS NEEDED TO ACHIEVE A 90% HEALTHY STAND OF VEGETATION WILL BE ADDED TO THE SOIL AT NO EXTRA CHARGE TO THE OWNER. THE STAND OF VEGETATION WILL NEED TO BE ACCEPTED BY THE ENGINEER.
 - THE SEED MIX SHALL BE KENTUCKY BLUEGRASS 100LBS/ACRE, REVERGE PERENNIAL RYEGRASS 60 LBS/ACRE, ANNUAL RYE 40 LBS/ACRE AND CREEPING RED FESCUE 40 LBS/ACRE TOTAL.

SWPPP LEGEND

- EXISTING SPOT GRADE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- EMERGENCY OVERFLOW ARROW
- ADJUST EXISTING RIM ELEVATION
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING BEEHIVE GRATE MANHOLE
- EXISTING CURB INLET
- PROPOSED YARD HYDRANT
- PROPOSED INLET
- PROPOSED FLARED END SECTION
- PROPOSED NDS CATCH BASIN
- SILT FENCE
- FLEXSTORM CATCH-IT INLET PROTECTION
- RIP RAP
- FINE GRADE, PROVIDE 6" OF TOPSOIL, FERTILIZE, AND SEED. INSTALL DS75 EROSION CONTROL BLANKET WITH 6" BIO-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- TEMPORARY CONCRETE WASHOUT FACILITY

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1825 Prairie Avenue Hoffman Estates, IL 60132

T: 224.293.6333 F: 224.293.6444

wengrping.com

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STORMWATER POLLUTION PREVENTION PLAN